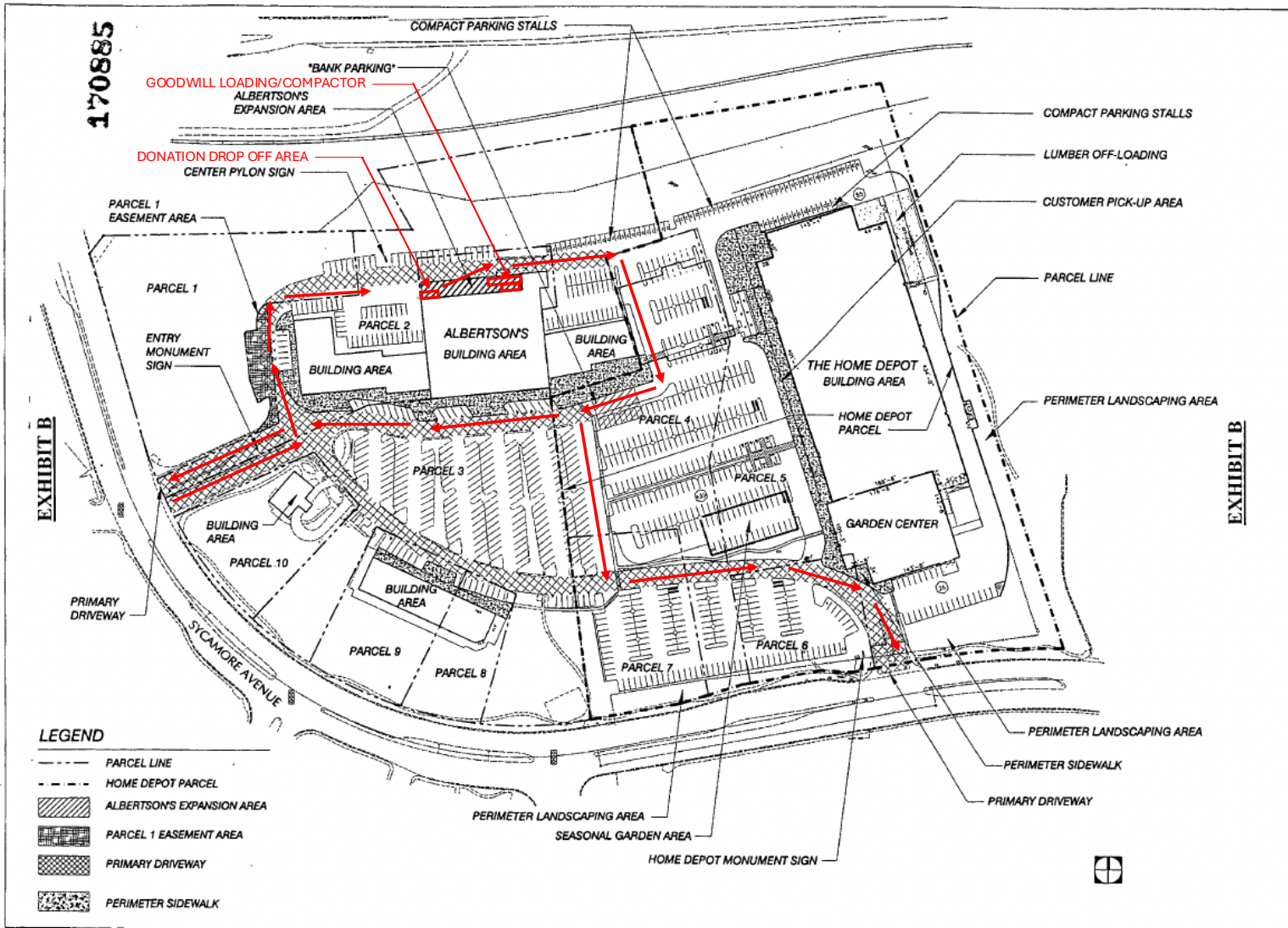


Aerial Site Map



Aerial Donation Pathway



Circulation Plan

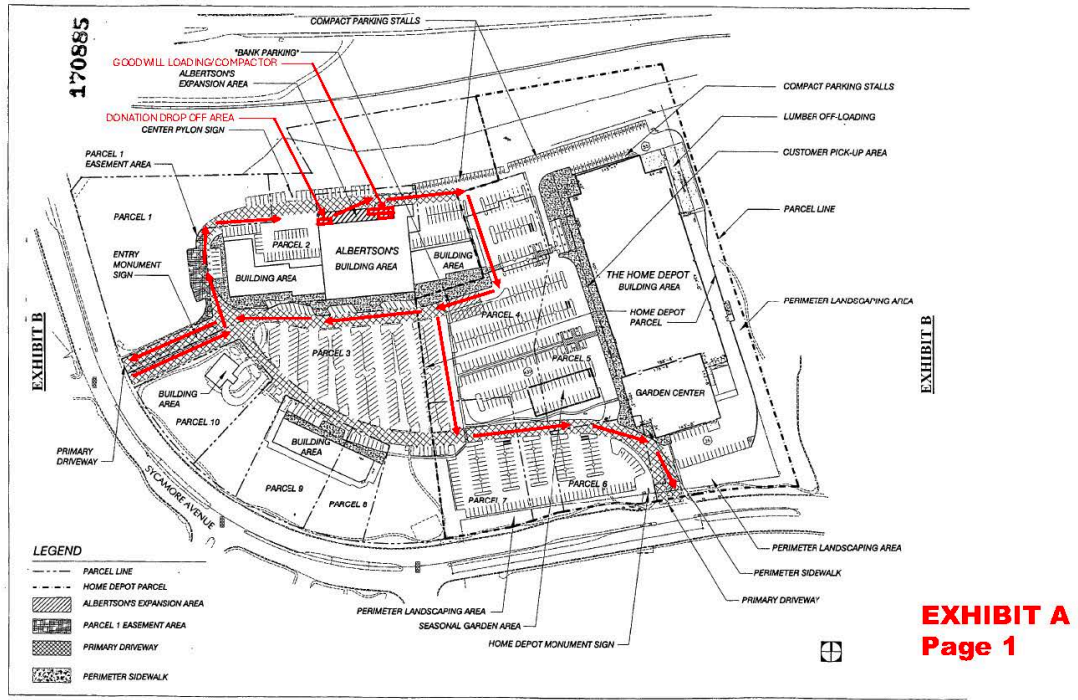
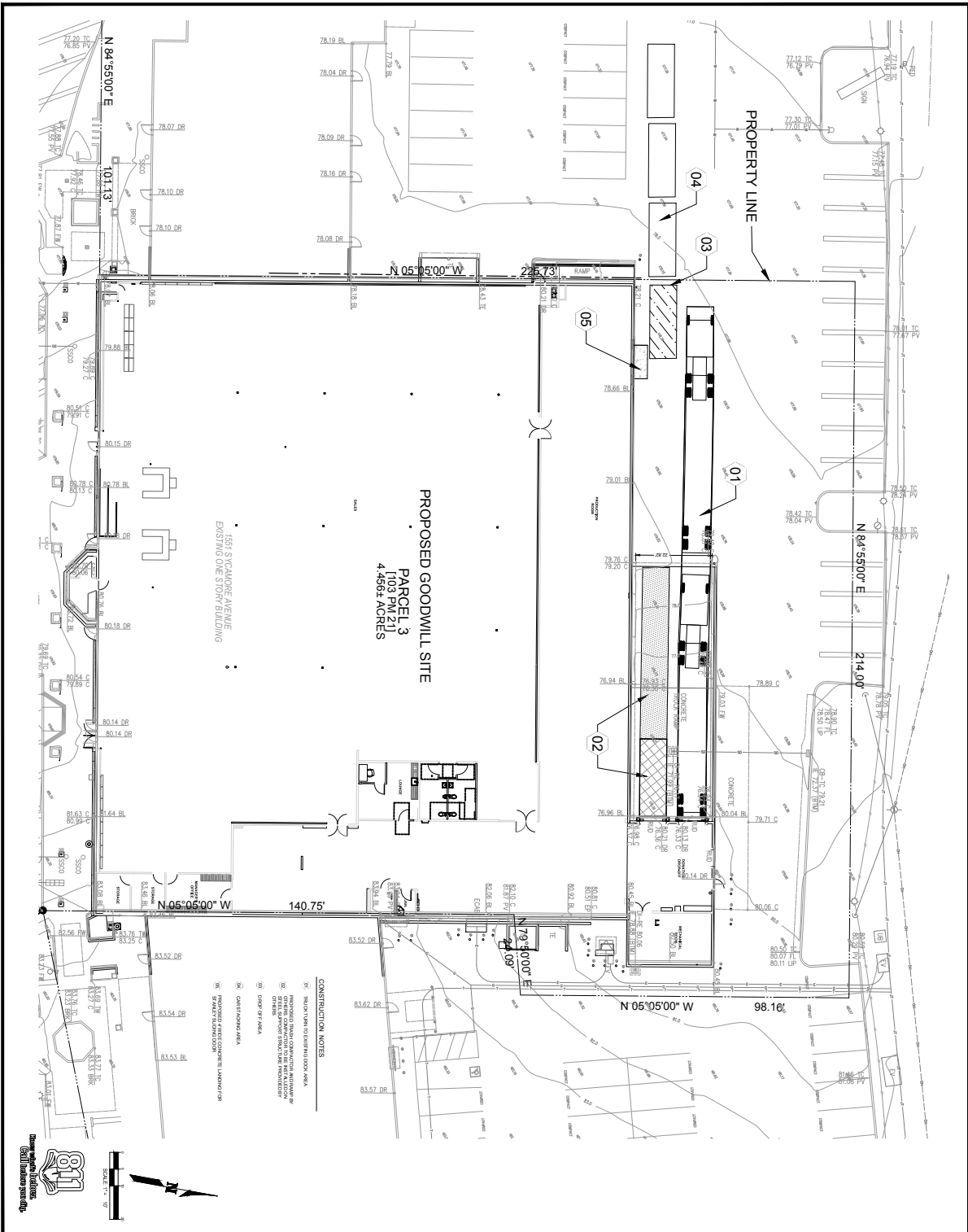


EXHIBIT A
Page 2



Donation Drop Off Area (05 – New door installation and landing)

P:\INR25624\04\CAD\CAD\Sheet\CD\INR25624_021_Grading Plan.dwg 12/29/2025 10:23 AM 51068638 1:1



CAUTION - IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT

	SITE / GRADING PLAN	SITE IMPROVEMENTS GOODWILL HERCULES 1551 SYCAMORE AVENUE HERCULES, CA		4863 chabot dr suite 300 Hercules, ca 94508 p 925.244.9620 www.malcomb.com												
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">NO.</th> <th style="width: 40%;">DATE</th> <th style="width: 50%;">REVISIONS</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		NO.	DATE	REVISIONS										THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITERS OMBODSMAN SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VISIBLE ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.		
NO.	DATE	REVISIONS														

Project Description

Project Description – 1551 Sycamore Avenue, Hercules, CA

Goodwill is seeking approval to occupy an existing 31,631 SF retail building at 1551 Sycamore Avenue within an existing shopping center located within the Community Commercial (CC) zoned district (See Exhibit A). No additional square footage will be added to the Premises. The use is defined as the operation of a retail store selling new and used donated items such as clothing, household items, furniture and other general retail items such as those listed in the definition of “General Retail” in DMC Sec. 18.34.030, which is a conditionally permitted use at this site. No alcoholic beverages will be provided or served. Hours of operation are from 9:00 am – 9:00 pm, with employee shifts beginning at 8:00 am. Approximately 31 employees would be hired for this location with 14 is the maximum number of employees expected during a shift. No outdoor activities are anticipated other than donation collections. The entitlements Goodwill is seeking are as follows:

- Use Permit for retail use, and for drive-up donation activities
- Design Review for commercial uses

Goodwill will require space in the rear of the building to be dedicated to a donation drop off area for customers, see Exhibits B, C, D & E. The scope of work for this area will require a sawcut opening for the installment of a 12’ x 8’ set of sliding double doors, and a proposed 4” wide concrete landing as shown on Exhibit “ Per the CC&R’s that the shopping mall is subject to, Goodwill and Brandenburg Properties have received the formal consent from Home Depot (See Exhibit I) for the donation drop off area location. While queuing of multiple cars is not anticipated for the donation drop off area as turnaround time is less than one minute, if queuing were to occur, there would be room behind the car occupying the donation space for 4 or more cars without infringing on any marked parking spots or drive aisles.

The scope of work for the interior of the space does not require demolition of existing walls separating the back of house area to the sales floor area, except for where demolition is required in relation to the ADA upgrades of the two existing restrooms. Existing ceiling grid and tiles to remain, existing walls to be painted, and existing T-8 lighting fixtures will be replaced with retrofit tubes and meet Title 24 requirements.

Proposed signage for the existing panels on the two existing monument signs and the façade signage will be replaced with text referencing the Goodwill store. The only new sign being proposed is in relation to the donation drop off area located at the rear of the building, See Exhibit F.

Additional signage proposed:

- Sign with backer (largest allowed per code) located on façade of building (See Exhibit F)
- Temporary “Coming Soon”, “Grand Opening”, “Now Hiring” and “Now Open” banners (See Exhibit F)
- Donation Door Signage (See Exhibit G)
- Asphalt Painting (See Exhibit H)

The existing loading dock at the rear of the building will be reused by Goodwill. New construction, in this area, will include a new trash compactor and pad. See enclosed Civil drawings sheet C3.0 for location.

GOODWILL'S "GOOD NEIGHBOR" POLICIES



NEW ITEMS EVERY DAY: Items donated by Sunday are on the retail floor by Tuesday. We put approximately 7,000 new items onto the retail floor in every store, every day.

DONATION LOCATION

MANAGEMENT: Donations are only accepted during store hours (9am-9pm most days) in the designated donation area and are brought into the building immediately. The donation door is equipped with a motion sensor and chime, alerting the attendant to greet and assist customers promptly, within a few second window.

ILLEGAL DUMPING REPORTS: If illegal dumping is reported to Goodwill, in the rare event items are left overnight, employees arriving prior to opening will remove them 1-2 hours before store operations begin.

SHOPPING CENTER SECURITY

BENEFITS: We are security conscious, and all Goodwill locations have 24-hour security cameras monitored by a member of our asset protection team. The presence of our cameras provides additional security in the immediate donation area.



THE DONATION PROCESS AT GOODWILL

The new prototype Goodwill of the San Francisco Bay store is designed to efficiently handle high-donor traffic without unsightly donation drop areas. Our donation sites offer a variety of flexible and convenient options to serve our community.



WHO SHOPS AND DONATES AT GOODWILL?



Goodwill customers are savvy shoppers looking for great values. Our customers are typically female, between the ages of 25-54, with an annual income of \$50K - \$75K.

Our average donor is typically female, ages 21-54 and has a household income of \$100K.

Our customers tend to be people who are environmentally conscious and value recycling.

GOOD TO KNOW: Our stores have a track record of increasing shopping center foot traffic, a benefit to neighboring businesses.

SHOPPING SUPPORTS THE GOODWILL MISSION

Revenue generated from the sale of donated items in Goodwill's retail stores remains in our community, and supports our efforts to fight poverty by addressing its most significant contributors: unemployment and underemployment. Goodwill of the San Francisco Bay empowers individuals, strengthens families, and builds stronger communities and is committed to ending poverty through the power of work.



GOODWILL CARES ABOUT THE ENVIRONMENT



Every year, Goodwill diverts millions of pounds of material from going directly into California landfills.

Goodwill Operations and Donation Processes



Goodwill of the San Francisco Bay
2626 W Beryl Avenue
Phoenix, AZ 85021

Goodwill Operational Processes and Commitment to Shopping Center Standards

Goodwill is committed to being a strong partner and good neighbor within every shopping center we occupy. We recognize the importance of maintaining the overall presentation and image of the property, and we have established a series of operational processes designed to ensure a clean, professional, and well-managed environment.

For additional context, a folder of marketing materials has been provided, along with two video links that showcase the appearance of a typical Goodwill store, our operational procedures, and testimonials from industry professionals. While much of the current material highlights Goodwill of Central Arizona, updated marketing will soon be developed for Goodwill of the San Francisco Bay (GSFB). This location will be featured prominently in those materials and promoted nationally.

Donation Operations

- **Donation Drop-O. Area:** Goodwill will utilize the existing rear roll-up door connected to the loading dock as the designated Donation Drop OI Area.
- **Signage:** Directional signage and striping will be provided throughout the center, subject to review and approval in the formal signage package. Signage will clearly state that donations are accepted only during operating hours and are posted at the Donation Drop OI Area doors. A mockup of this signage will be provided at a later date.
- **Hours of Operation:** Donations will be accepted during business hours only, Monday through Sunday, 9:00 AM – 9:00 PM. A dedicated Donation Attendant will be present at all times during these hours.

Security and Monitoring

- **Tinted Doors:** The donation drop-ol doors will be tinted to prevent public visibility into the back-of-house area while allowing stal to maintain visibility outside.
- **24/7 Video Monitoring:** The donation area will be monitored with live-streamed video surveillance at all times.
- **After-Hours Deterrents:** A speaker system connected to live attendants will deter after-hour drop-ols by instructing customers to return during operating hours. While no system can completely prevent noncompliance, this approach has proven highly elective at other Goodwill locations.
- **Morning Clean-Up:** In the rare event items are left overnight, employees arriving prior to opening will remove them 1–2 hours before store operations begin.

Donation Handling and Cleanliness

- **No Outside Storage:** No donations or products will be left outside overnight. Even during business hours, attendants collect donations directly from customers' vehicles, ensuring items never accumulate outside.
- **Motion-Censored Door:** The donation door is equipped with a motion sensor and chime, alerting the attendant to greet and assist customers promptly, within a few second window.
- **On-Site Compactor:** A compactor located in the truck well will handle all trash, ensuring the area remains clean, orderly, and free of debris.

Mission Services

Goodwill of the San Francisco Bay (GSFB) has a long-standing history of excellence in Workforce Development. Through our **ABCs of Workforce Development**, we empower individuals to secure *A job*, move into a *Better job*, and ultimately achieve a sustainable and rewarding *Career*.

Our approach is highly individualized. We work one-on-one with clients to create tailored development plans, provide access to supportive services, connect them with education and training opportunities, and, when needed, offer behavioral health case management. This comprehensive model ensures that each person we serve has the tools, resources, and support to succeed.

While Workforce Development is at the heart of our work, our mission extends far beyond it. By strengthening and optimizing our retail operations, we are creating opportunities to expand the scope of our community impact. Future initiatives include:

- **No-Cost Adult High Schools** to provide second-chance educational opportunities.
- **Innovative K-12 Microschools** designed to offer personalized, future-ready learning.
- **Veteran Resource Centers** to honor and support those who have served.

These programs reflect our commitment to building pathways for long-term success and resilience across the communities we serve.

As a nonprofit, we embrace the principle: “no margin, no mission.” To sustain and grow our mission impact, we must continue to invest in our retail division. A strong retail foundation generates the operational margin necessary to reinvest in mission-driven programs. This is especially critical today as government funding for nonprofits continues to evolve and, in many cases, decline.

By expanding and optimizing our retail operations, Goodwill of the San Francisco Bay is not only ensuring the sustainability of our existing programs but also paving the way for innovative new initiatives that will serve our community for generations to come.



Freeway sign

Rear Donation Drop Off sign

1551 Sycamore Ave

Entry sign B

Directional sign

Front Donation Drop Off sign

Front Main sign

Entry sign C

**EQUITY
SIGN GROUP**

FULL SERVICE - DESIGN, MANUFACTURE, INSTALL

OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL

X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

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Fabricate and install one set of lighted letters and logo.

To be Halo-lit, aluminum reverse channel letters.
Letter finish to be horizontal brushed.
Letter depth to be 5"
Letters pegged off background 2".
Illumination to be white LED's.

Backlit with white LED's. (Double normal amount)

Goodwill copy on logo to be routed out and backed with white acrylic.

154.17 Sq. Ft.
SIGN A

Fascia
Painted Goodwill brown.



OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

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Directional Signage

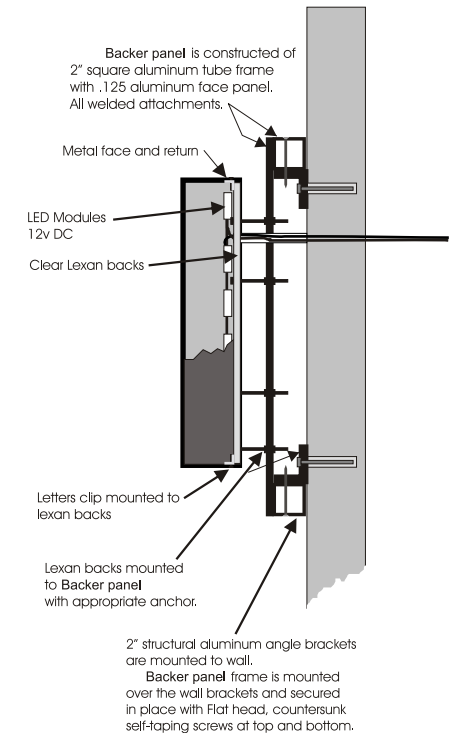
33.92 Sq Ft.

SIGN B



Fabricate and install one set of lighted reverse pan channel letters. Letters to be brushed aluminum with 3" deep returns. Peg off background 2". All backlit with white LED's.

Background panel to be 2" deep aluminum frame with aluminum face surface. Montex textured finish painted Dunn Edwards De6077 "Deep Brown"



Side view cut-thru detail of sign, background panel and wall attachment
APPLIES TO ALL 3 SIGNS

EQUITY SIGN GROUP
FULL SERVICE - DESIGN, MANUFACTURE, INSTALL

OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL X

SCALE _____

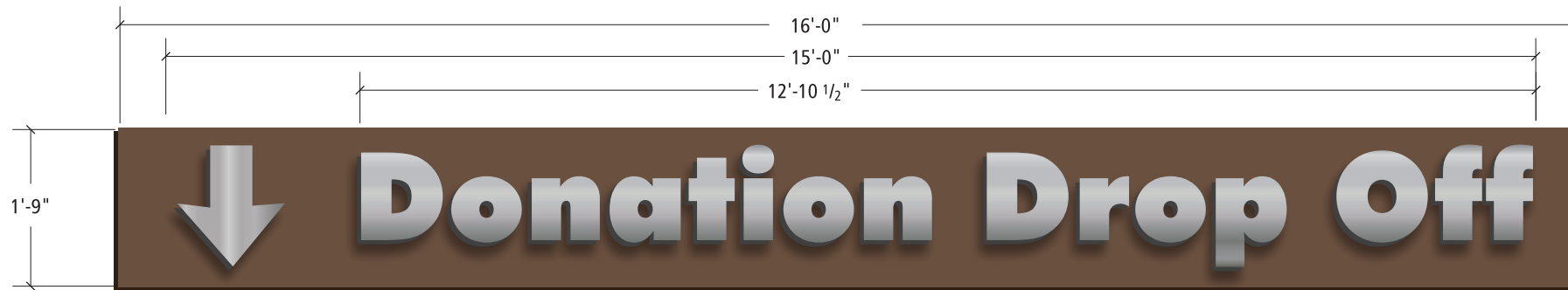
DESIGNER SS SALESPERSON Rob Frazier

DATE 6-25-26

DRAWING NUMBER Goodwill -6-16-26

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Directional Signage



28 Sq Ft.
SIGN C

Fabricate and install one set of halo-lit reverse pan channel letters. Letters to be brushed aluminum. Letters to have 3" returns. Peg off background 2". All back-lit with white LED's.

Background panel to be 2" deep aluminum frame with aluminum face surface. Montex textured finish painted Dunn Edwards De6077 "Deep Brown"



North Elev



OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

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Freeway Sign



Fabricate and install 2 new white lexan faces.
 Cut size to be 62.75" x 179.38".
 Visible opening 60" x 174.25".

Background painted to match Dunn Edwards "Deep Brown" DE6077.
 Inset copy to be Wrisco brushed aluminum with horizontal brush.
 Outline around copy and logo to show through to white lexan.



North East Elev.



South West Elev.



OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

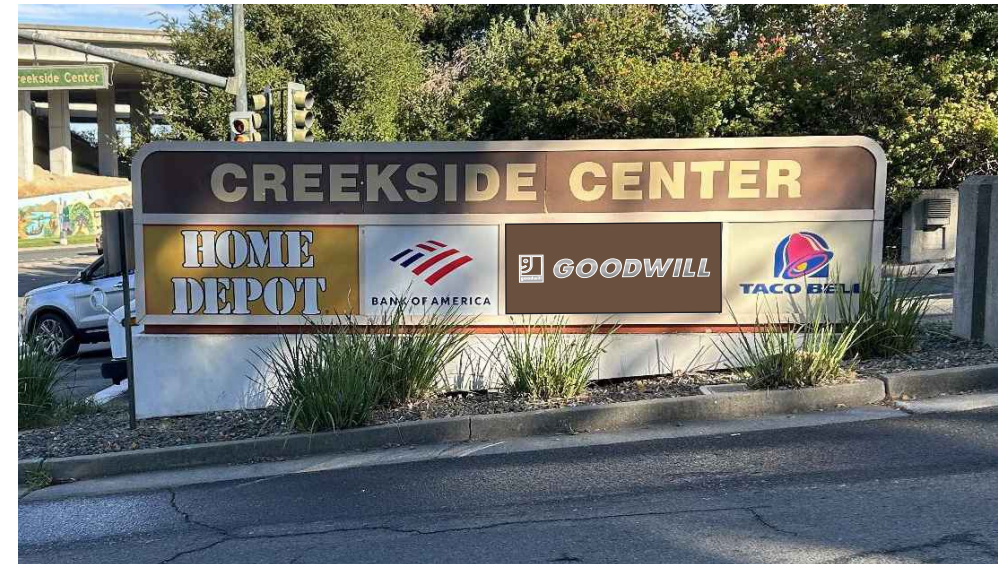
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Fabricate and install 2 new white lexan faces.
 Cut size to be 32.125" x 67.125".
 Visible opening 28" x 65.75".

Background painted to match Dunn Edwards "Deep Brown" DE6077.
 Inset copy to be Wrisco brushed aluminum with horizontal brush.
 Outline around copy and logo to show through to white lexan.

North Elev.



Entry Sign B

South Elev.



OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

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GOODWILL

Fabricate and install 2 new Reverse pan panels.
Size is 18.25" tall x 91.5" x 2" deep.

Background painted to match Dunn Edwards "Deep Brown" DE6077.
Rout copy and back with white acrylic.
Inset copy to be Wrisco brushed aluminum with horizontal brush.
Outline around copy and logo to show through to white lexan.



East Elev



West Elev

EQUITY SIGN GROUP
FULL SERVICE - DESIGN, MANUFACTURE, INSTALL

OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

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Fabricate and install one Single-sided directional sign.

3.9 Sq Ft.

1/8" thick face panel to be painted to match Dunn Edwards De6077 "Deep Brown".
2" square aluminum tube supports to be painted to match
Dunn Edwards De6151 "Warm Butterscotch".

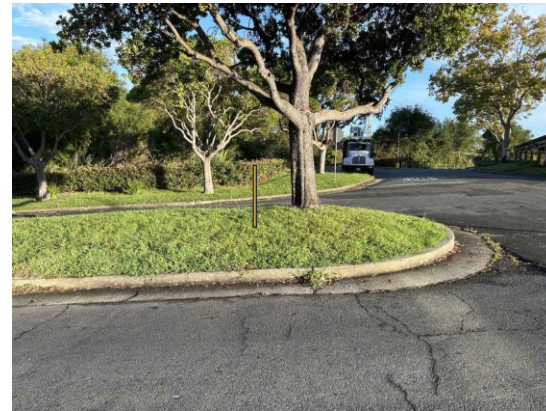
Copy to be brushed alum vinyl, with white outlines as shown.

Note: Top of posts to be capped. Posts extend into ground 18" for concrete footing.

Top view of sign



West view



South view



OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL
X

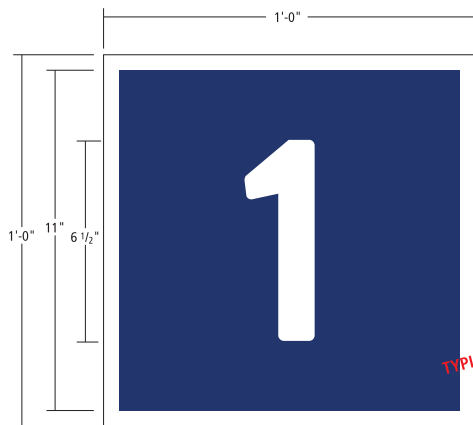
SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

DATE 6-16-26

DRAWING NUMBER Goodwill -6-16-26

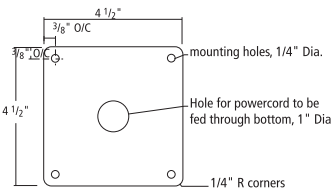
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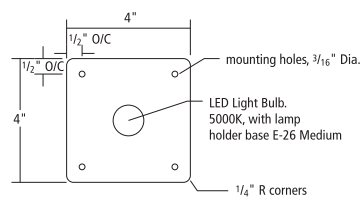
TYPICAL



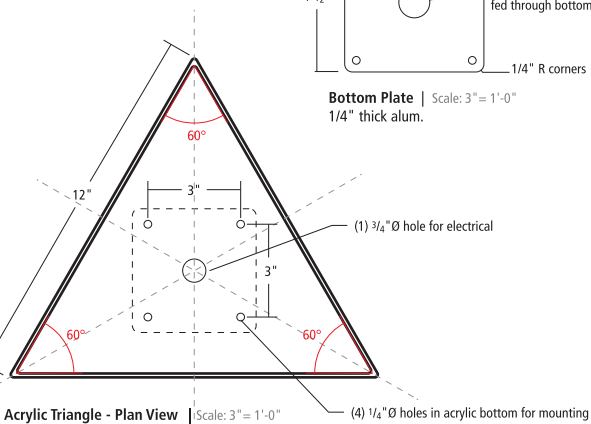
3-Sided Illuminated Cash Register Lane Sign – TYPICAL
Elevation View | Scale: 3" = 1'-0"



Bottom Plate | Scale: 3" = 1'-0"
1/4" thick alum.



Top Plate | Scale: 3" = 1'-0"
1/8" thick alum.



Acrylic Triangle - Plan View | Scale: 3" = 1'-0"

Manufacture and Deliver FOUR (4) 3-Sided Illuminated Cash Register Lane Signs

Formed acrylic triangle shape, white acrylic faces. Internally illuminated with an LED bulb, connected to a black rocker switch and appliance cord run thru sign post. Lamp Base Holder E-26 medium. Appliance cord is 3 wire, 14 gauge, 6', black.

1st Surface Applied Translucent Vinyl (C1) with cut-out number on each side to reveal acrylic surface

Post is 2" square alum tube, 1/8" walls, with mounting plates at top/bottom. Painted Black (C4). Top Plate is 1/8" alum, radius corners, 4" sq., with mounting holes (3/16" Dia, 1/2" On Center), and lamp holder base (E-26 Medium). Bottom Plate is 1/4" alum, radius corners, 6" sq. with mounting holes (1/4" Dia., 3/4" On Center).

Font: Brandon Grotesque Bold

- C1** Dark Blue **3M** 3630-36 'Dark Blue' Vinyl
- C4** Black **Mathews Paint** MAP Black



Reference Images
Scale: Not To Scale



QTY: 3



QTY: 3

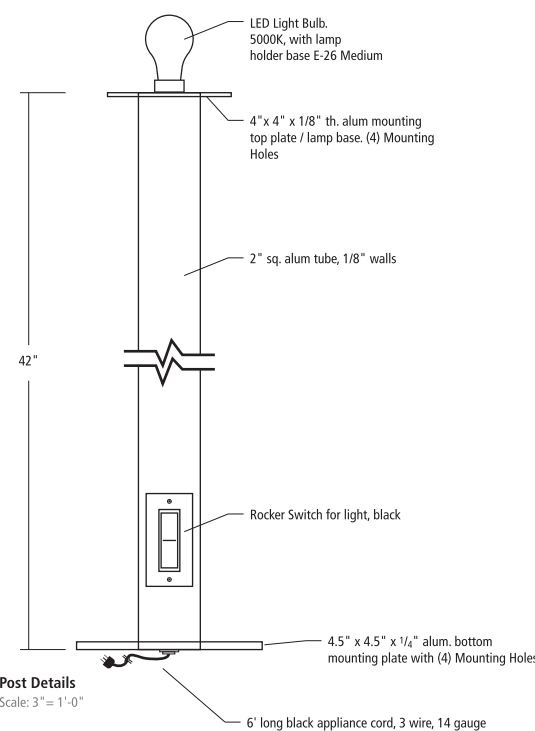


QTY: 3



QTY: 3

Vinyl Face Layouts
Scale: 1" = 1'-0"



Post Details
Scale: 3" = 1'-0"

EQUITY SIGN GROUP
FULL SERVICE - DESIGN, MANUFACTURE, INSTALL

OWNER Goodwill

ADDRESS 1551 Sycamore Ave Hercules, CA 94547

OWNER APPROVAL X

SCALE _____

DESIGNER SS SALESPERSON Rob Frazier

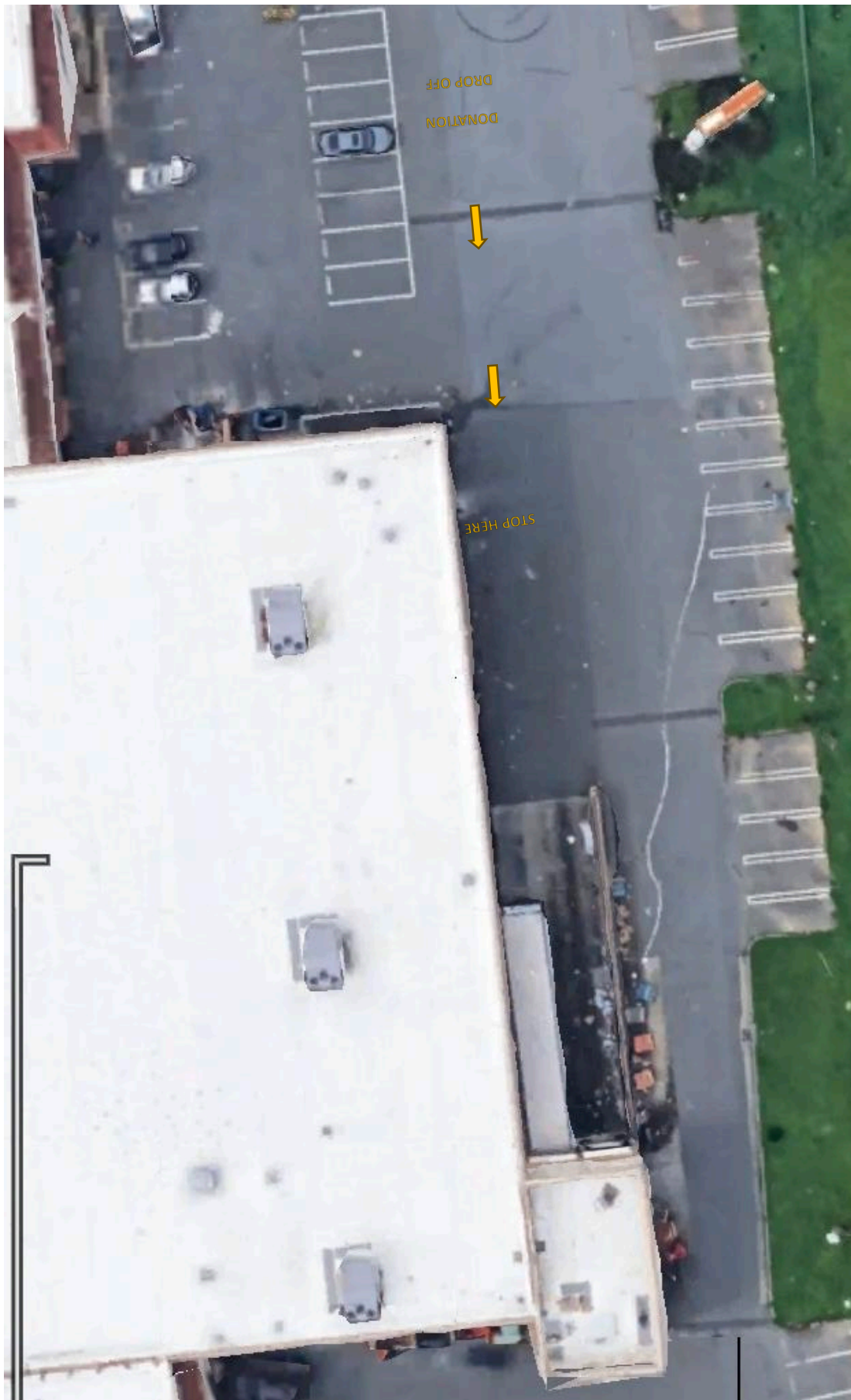
DATE 2-13-26

DRAWING NUMBER Goodwill -2-13-26

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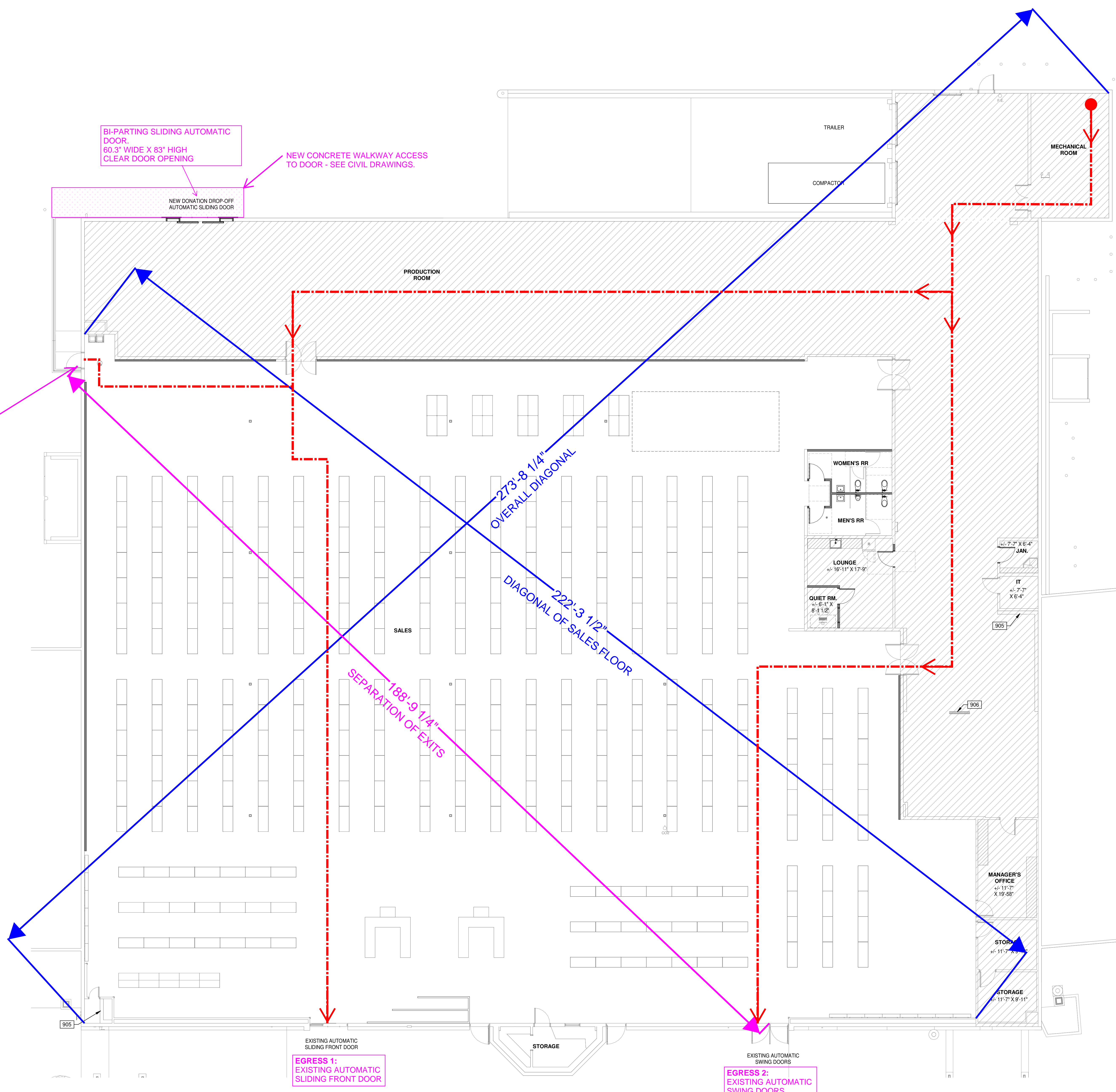


Exhibit H – Asphalt Paint Exhibit



DROPOFF
DONATION

STOP HERE



WALL LEGEND

— EXISTING PARTITION, TO REMAIN

— NEW PARTITION

AREA ANALYSIS:

BOH	+/- 9,628 SF
SALES FLOOR	+/- 21,202 SF
	+/- 30,830 SF

- GENERAL NOTES:**
1. PROTECT FLOORING THROUGHOUT DURING CONSTRUCTION. U.O.N. REPLACE DAMAGED EXISTING VCT AND PREPARE SURFACE TO RECEIVE NEW FINISH.
 2. PROVIDE LOCKSETS FOR DOORS FACING PUBLIC SIDE AS REQUIRED.
 3. PROVIDE ALTERNATE FOR NEW LIGHTS TO REPLACE ALL EXISTING T-8 FIXTURES WITH RETROFIT TUBES.
 4. EXISTING CEILING GRID AND TILES TO REMAIN. PATCH REPAIR AS REQUIRED. WHERE THERE IS WATER DAMAGE AND MOLD, ROOF LEAK REMEDIATION IS REQUIRED BEFORE NEW CONSTRUCTION TO BEGIN. REPLACE GRID AND TILES AS REQUIRED.

- KEYNOTES:**
- 905 EXISTING CURB TO REMAIN.
 - 906 EXISTING TRENCH DRAIN TO REMAIN.

--- PATH OF EGRESS TRAVEL

EGRESS 3:
(EMERGENCY ONLY)
SINGLE 36" HOLLOW
METAL DOOR

BI-PARTING SLIDING AUTOMATIC DOOR.
60.3" WIDE X 83" HIGH
CLEAR DOOR OPENING

NEW CONCRETE WALKWAY ACCESS
TO DOOR - SEE CIVIL DRAWINGS.

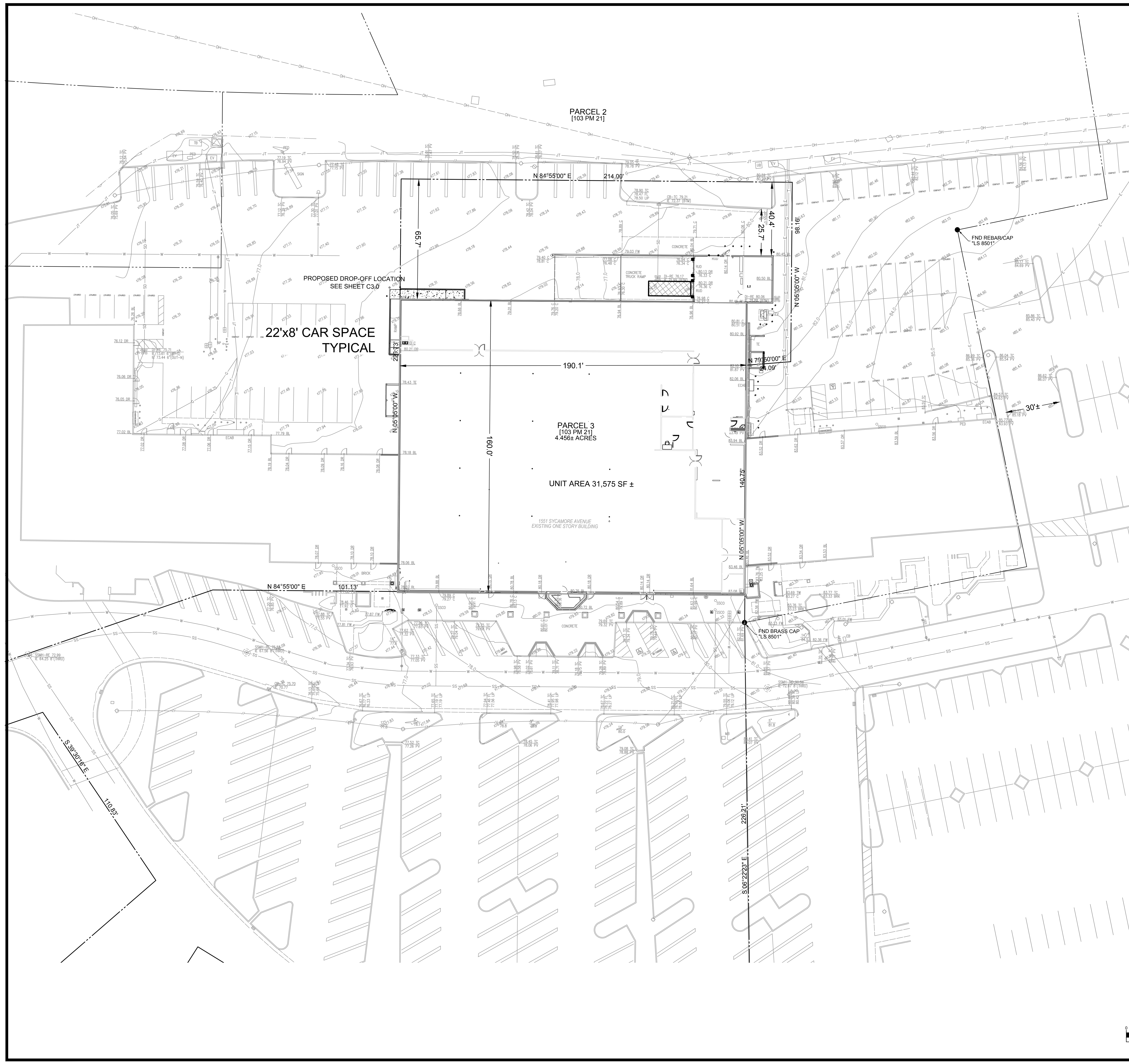
NEW DONATION DROP-OFF
AUTOMATIC SLIDING DOOR

EGRESS 1:
EXISTING AUTOMATIC
SLIDING FRONT DOOR

EGRESS 2:
EXISTING AUTOMATIC
SWING DOORS

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed. Signage shown is for illustrative purposes only and does not necessarily reflect municipal code compliance. All colors shown are for representative purposes only. Refer to material samples for actual color verification.

SCHEME: 01



LEGEND - EXISTING

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE
- MONUMENT LINE
- BUILDING LINE W/ DOOR
- BUILDING OVERHANG
- FOUND MONUMENT AS NOTED
- FOUND IRON PIPE OR AS NOTED
- BOLLARD LIGHT
- LIGHT
- STREET LIGHT
- TRANSFORMER
- FIRE HYDRANT
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- CLEAN OUT
- GAS METER
- UTILITY POLE W/ GUY WIRE
- VALVE
- CATCH BASIN / DROP INLET
- WATER METER
- FIRE DEPARTMENT CONNECTION
- BACK FLOW PREVENTER
- POST INDICATOR VALVE
- UTILITY BOX (SIZE VARIES)
- SIGN
- TREE W/ SIZE AND ELEVATION
- SPOT ELEVATION
- CONTOUR
- INDEX CONTOUR
- CURB
- CURB & GUTTER
- CONCRETE
- FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
- SANITARY SEWER
- STORM DRAIN
- WATER
- OVERHEAD

SURVEYOR NOTES

1. All distances shown hereon are in U.S. Survey feet and decimals thereof.
2. This boundary and easements shown on this survey was based solely on the following recorded documents:

Parcel Map 477-82 filed for record on October 26, 1982 in Book 103 of Parcel Maps at Page 21, Contra Costa County Records.

No liability is assumed for matters of record not shown on said document that may affect the boundary lines, exceptions, or easements affecting the property.
3. The types, locations, sizes and/or depths of existing underground utilities as shown on this topographic survey were obtained from sources of varying reliability. The contractor is cautioned that only actual excavation will reveal the types, extent, sizes, locations and depths of such underground utilities. (A reasonable effort has been made to locate and delineate all unknown underground utilities.) However, the surveyor can assume no responsibility for the completeness or accuracy of its delineation of such underground utilities which may be encountered, but which are not shown on these drawings.
4. A.P.N.: 406-140-003-4
5. Basis of Bearings:
The bearing of North 80°00'00" East taken on the monument line of Sycamore Avenue as shown on that certain Parcel Map 477-82 filed for record on October 26, 1982 in Book 103 of Parcel Maps at Page 21, Contra Costa County Records was taken as the Basis of all Bearings shown hereon.
6. Benchmark:
NGS CORS Station: OHLN
Elevation: 105.70 feet (GPS Observed) (Datum) NAVD 1988
7. Flood Zone Note:
The subject property is shown on the Federal Emergency Management Agency Flood Insurance Rate Map, Community Panel Number 060434 0044 H, March 21, 2017, as being located in Flood Zone "X".

Areas of determined to be outside the 0.2% annual chance flood.

Information was obtained from the FEMA website (www.fema.gov) on December 02, 2025.

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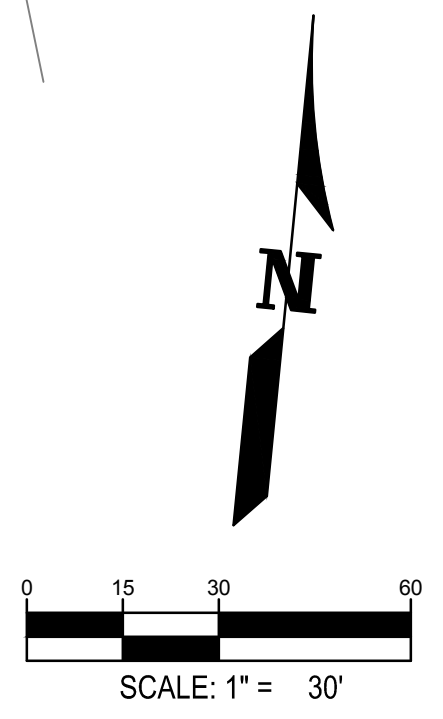
FOR AND ON BEHALF OF WARE MALCOMB

SITE IMPROVEMENTS
GOODWILL HERCULES
1551 SYCAMORE AVENUE
HERCULES, CA

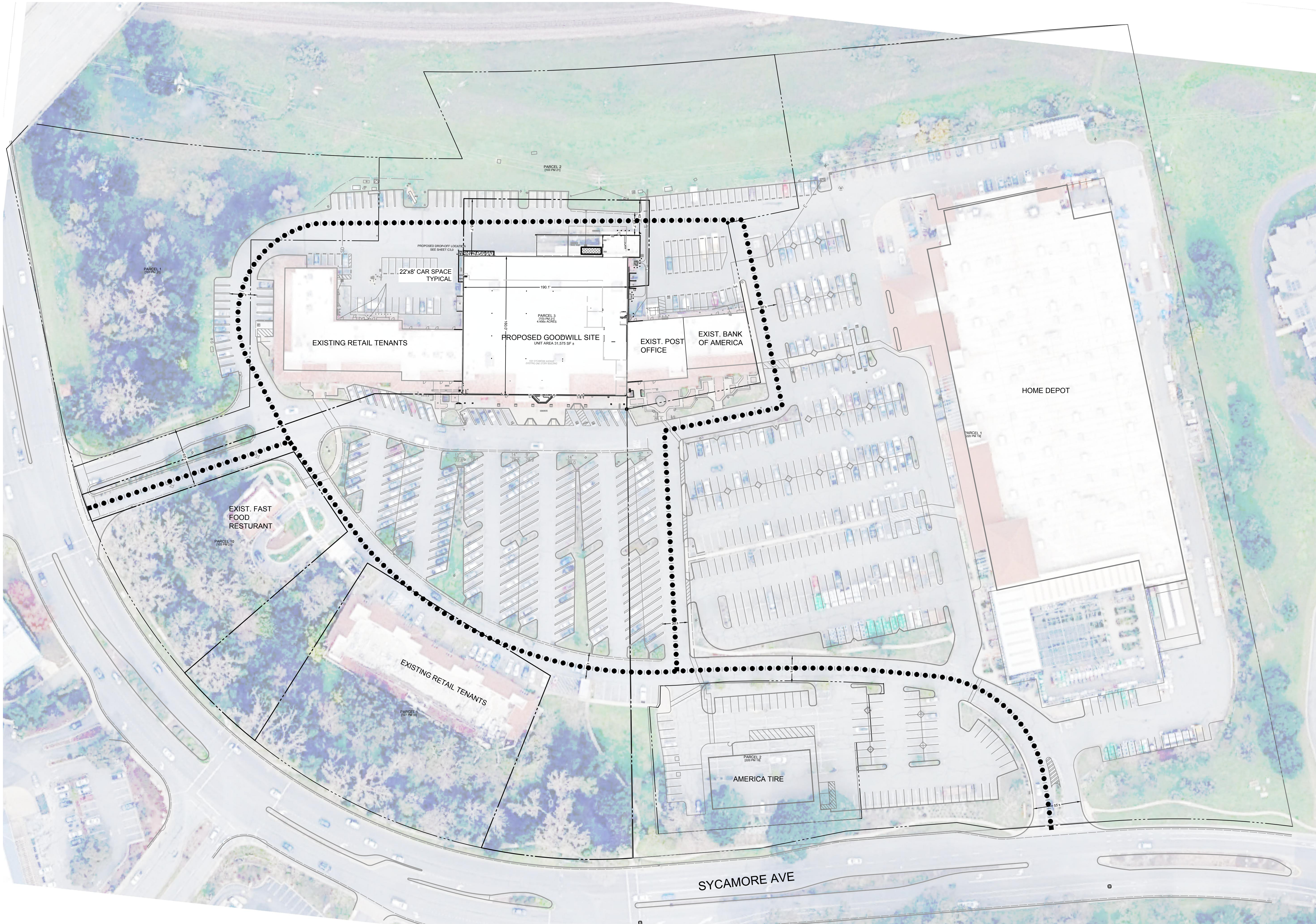
EXISTING CONDITIONS		REMARKS
NO.	DATE	CIP COMMENTS
1	03/03/2026	

JOB NO.:	SNR25-6024
PA / PM:	MM
DESIGNED:	SY
DATE:	DEC. 02. 2025
PLOT DATE:	01-21-2026

SHEET
C2.0
Sheet 2 of 6



THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.



LEGEND - EXISTING

PROPERTY LINE	---
ADJACENT PROPERTY LINE	---
CENTERLINE	---
MONUMENT LINE	---
BUILDING LINE W/ DOOR	---
BUILDING OVERHANG	---
FOUND MONUMENT AS NOTED	---
FOUND IRON PIPE OR AS NOTED	---
BOLLARD LIGHT	---
LIGHT	---
STREET LIGHT	---
TRANSFORMER	---
FIRE HYDRANT	---
STORM DRAIN MANHOLE	---
SANITARY SEWER MANHOLE	---
CLEAN OUT	---
GAS METER	---
UTILITY POLE W/ GUY WIRE	---
VALVE	---
CATCH BASIN / DROP INLET	---
WATER METER	---
FIRE DEPARTMENT CONNECTION	---
BACK FLOW PREVENTER	---
POST INDICATOR VALVE	---
UTILITY BOX (SIZE VARIES)	---
SIGN	---
TREE W/ SIZE AND ELEVATION	---
SPOT ELEVATION	---
CONTOUR	---
INDEX CONTOUR	---
CURB	---
CURB & GUTTER	---
CONCRETE	---
FENCE	---
RETAINING WALL	---
EDGE OF PAVEMENT	---
SANITARY SEWER	---
STORM DRAIN	---
WATER	---
OVERHEAD	---
FIRE ACCESS	---

NOTE: SEE SHEET C3.0 FOR PROPOSED GOODWILL SITE LOCATION DETAILS.

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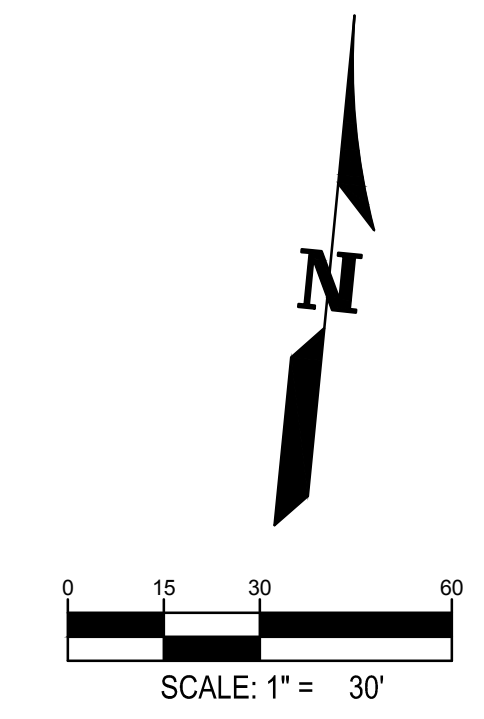
SITE IMPROVEMENTS
GOODWILL HERCULES
1551 SYCAMORE AVENUE
HERCULES, CA

EXISTING CONDITIONS - FIRE ACCESS

NO.	DATE	REMARKS
1	03/03/2026	CIP COMMENTS

JOB NO.:	SNR25-6024
PA / PM:	MM
DESIGNED:	SY
DATE:	DEC. 02, 2025
PLOT DATE:	01-21-2026

SHEET
C2.1
Sheet 3 of 6



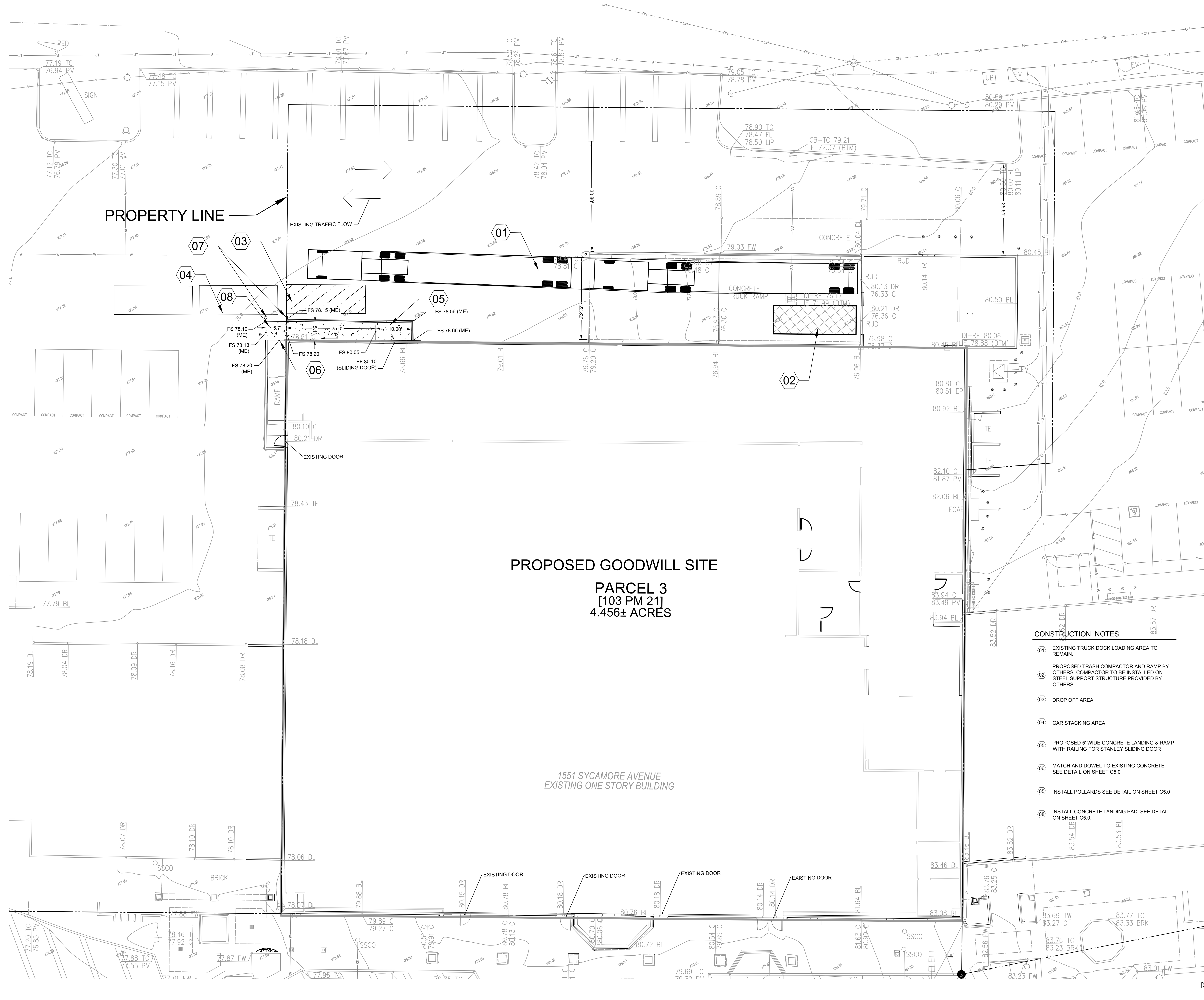


FOR AND ON BEHALF OF WARE MALCOMB

SITE IMPROVEMENTS
GOODWILL HERCULES
1551 SYCAMORE AVENUE
HERCULES, CA

SITE / GRADING PLAN	
NO.	REMARKS
1	03/03/2026 CUP COMMENTS

JOB NO.:	SNR25-6024
PA / PM:	MM
DESIGNED:	SY
DATE:	DEC. 02. 2025
PLOT DATE:	01-21-2026

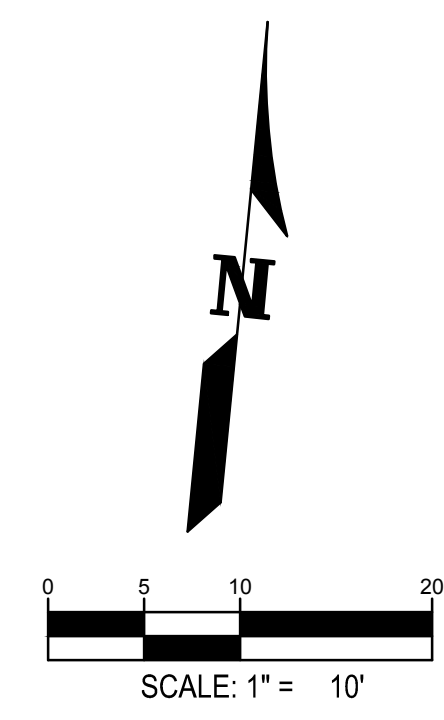


PROPOSED GOODWILL SITE
PARCEL 3
[103 PM 21]
4.456± ACRES

1551 SYCAMORE AVENUE
EXISTING ONE STORY BUILDING

CONSTRUCTION NOTES

- 01 EXISTING TRUCK DOCK LOADING AREA TO REMAIN.
- 02 PROPOSED TRASH COMPACTOR AND RAMP BY OTHERS. COMPACTOR TO BE INSTALLED ON STEEL SUPPORT STRUCTURE PROVIDED BY OTHERS
- 03 DROP OFF AREA
- 04 CAR STACKING AREA
- 05 PROPOSED 5' WIDE CONCRETE LANDING & RAMP WITH RAILING FOR STANLEY SLIDING DOOR
- 06 MATCH AND DOWEL TO EXISTING CONCRETE SEE DETAIL ON SHEET C5.0
- 07 INSTALL POLLARDS SEE DETAIL ON SHEET C5.0
- 08 INSTALL CONCRETE LANDING PAD. SEE DETAIL ON SHEET C5.0.

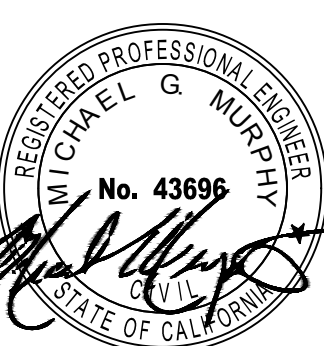


EROSION & SEDIMENT CONTROL NOTES

- CONTRACTOR: DEACON CONSTRUCTION
- CIVIL ENGINEER: WARE MALCOMB
SAM YOWAKIM / MICHAEL MURPHY
(925) 480-6085 / (925) 480-6085
- CONSTRUCTION SUPERINTENDENT: _____
- IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
 - ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF CITY OF CLOVIS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
 - THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. DURING THE NON-RAINY SEASON, BEST MANAGEMENT PRACTICES (BMP'S) MUST BE IMPLEMENTED DURING CONSTRUCTION WHICH INCLUDES BUT IS NOT LIMITED TO: STABILIZED CONSTRUCTION ENTRANCE(S), TIRE WASH AREA AND INLET PROTECTION.
 - OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING AND AFTER STORM EVENTS.
 - ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST OF EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
 - IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
 - DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
 - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE(S). ANY MUD OR DEBRIS OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
 - INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAIN IS UNDISTURBED OR STABILIZED.
 - BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
 - ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.
 - THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY CITY PROJECT INSPECTOR OF ANY FIELD CHANGES.
 - KEEP CONSTRUCTION TRAFFIC OUT OF STORMWATER TREATMENT AREA LOCATIONS, AND MINIMIZE COMPACTION OF EXISTING SOILS.
 - PROTECT STORMWATER TREATMENT FACILITIES FROM CONSTRUCTION SITE RUNOFF. ONCE IMPORTED MATERIALS ARE INSTALLED IN STORMWATER TREATMENT FACILITIES, RUNOFF FROM UNSTABILIZED AREAS MUST BE DIVERTED AWAY FROM SUCH FACILITIES.
 - THE CONSTRUCTION BMP'S SHOWN ON THE PLAN ARE MINIMUM REQUIREMENTS. THE CITY ENGINEER OR STORMWATER INSPECTOR IS AUTHORIZED TO REQUIRE ADDITIONAL BMP'S TO PREVENT NON-STORMWATER DISCHARGES.

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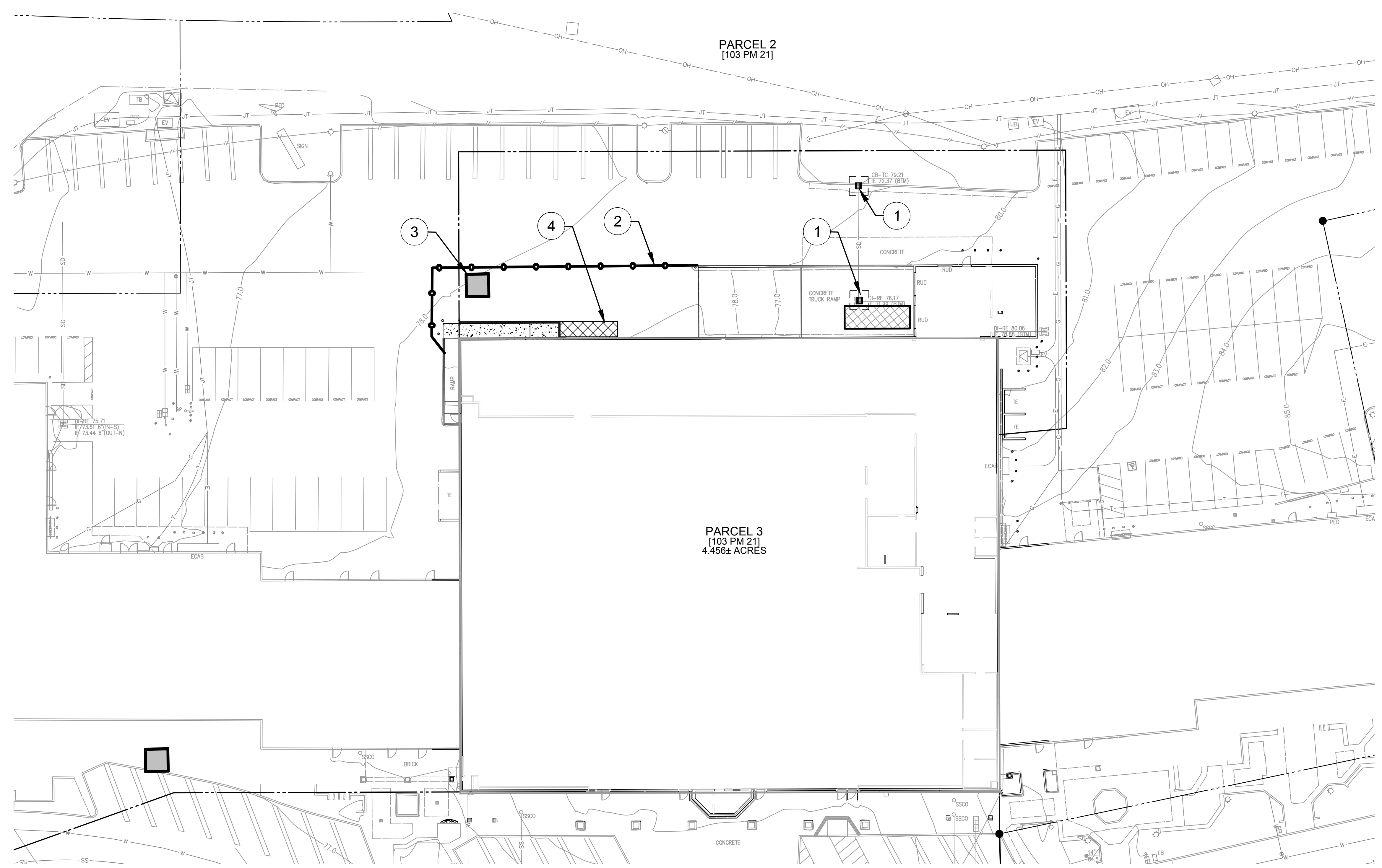
FOR AND ON BEHALF OF WARE MALCOMB

SITE IMPROVEMENTS
GOODWILL HERCULES
1551 SYCAMORE AVENUE
HERCULES, CA

EROSION CONTROL PLAN	
NO.	REMARKS
1	03/03/2026
2	
3	
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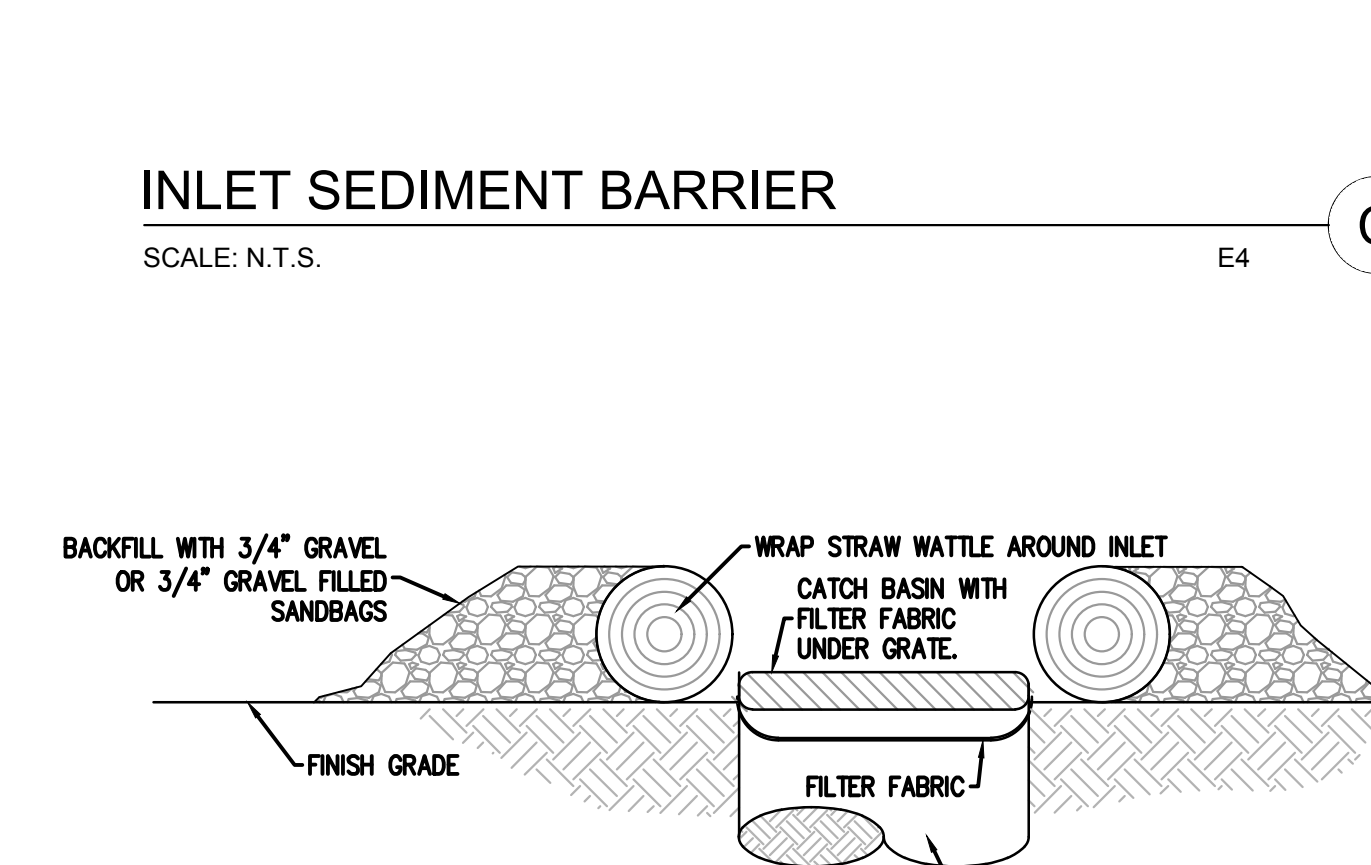
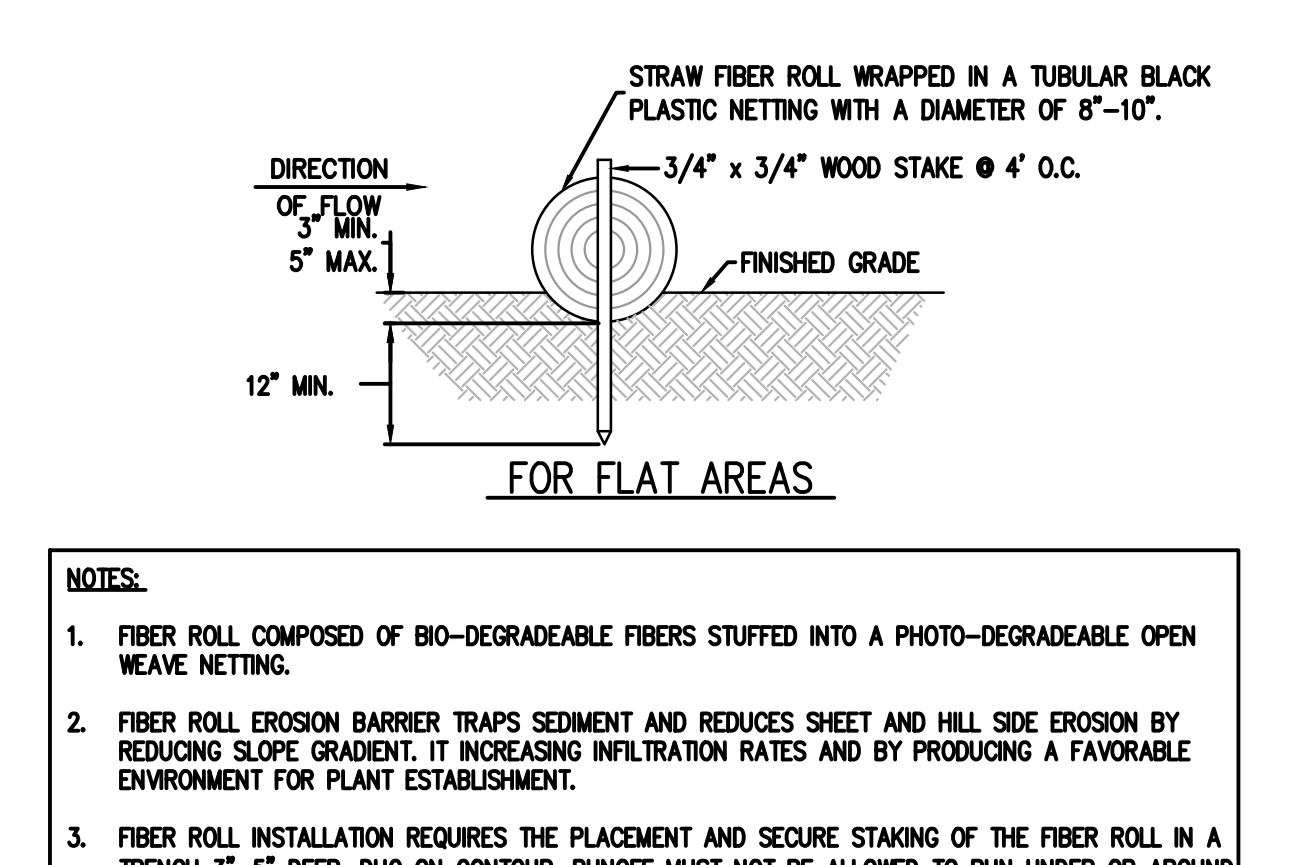
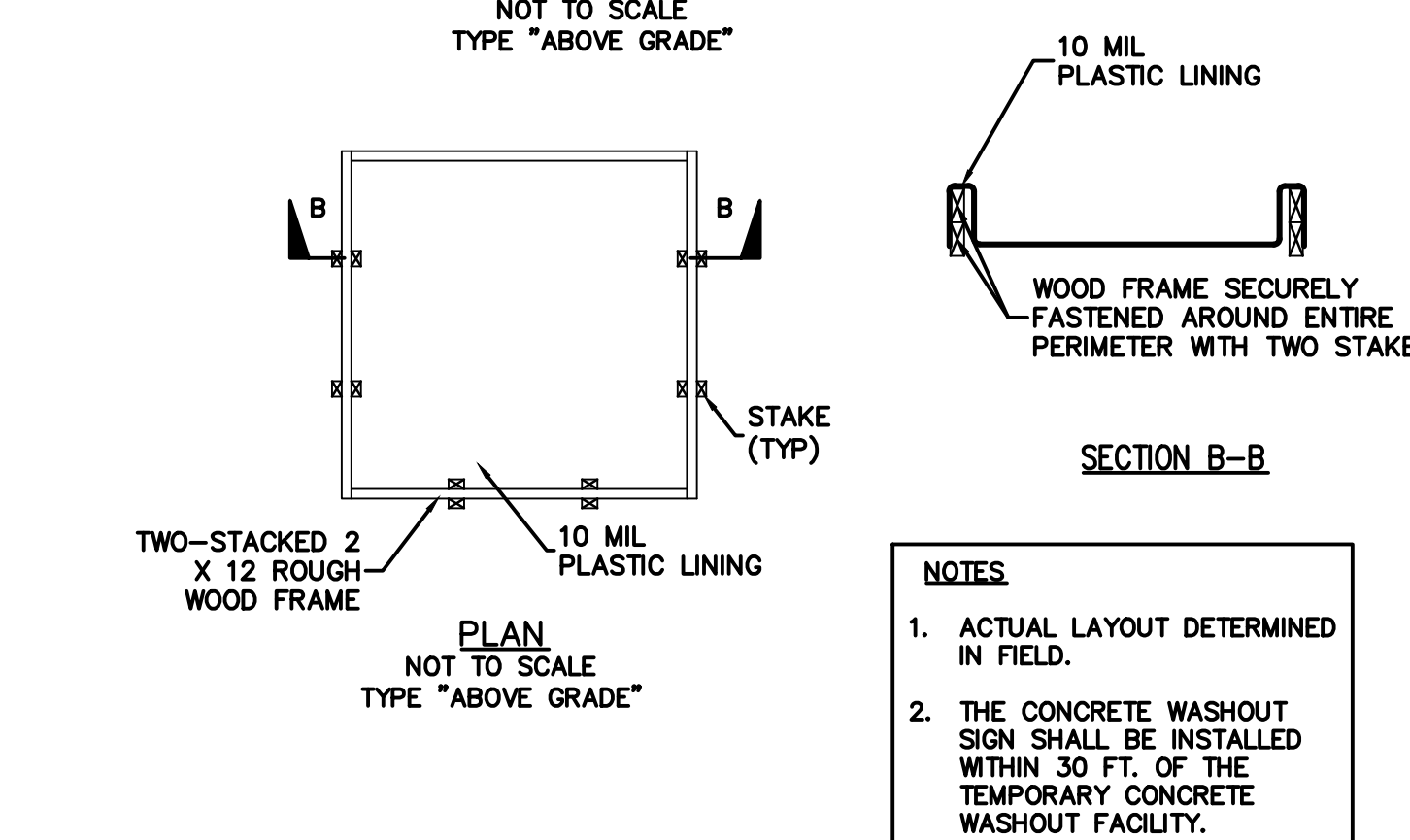
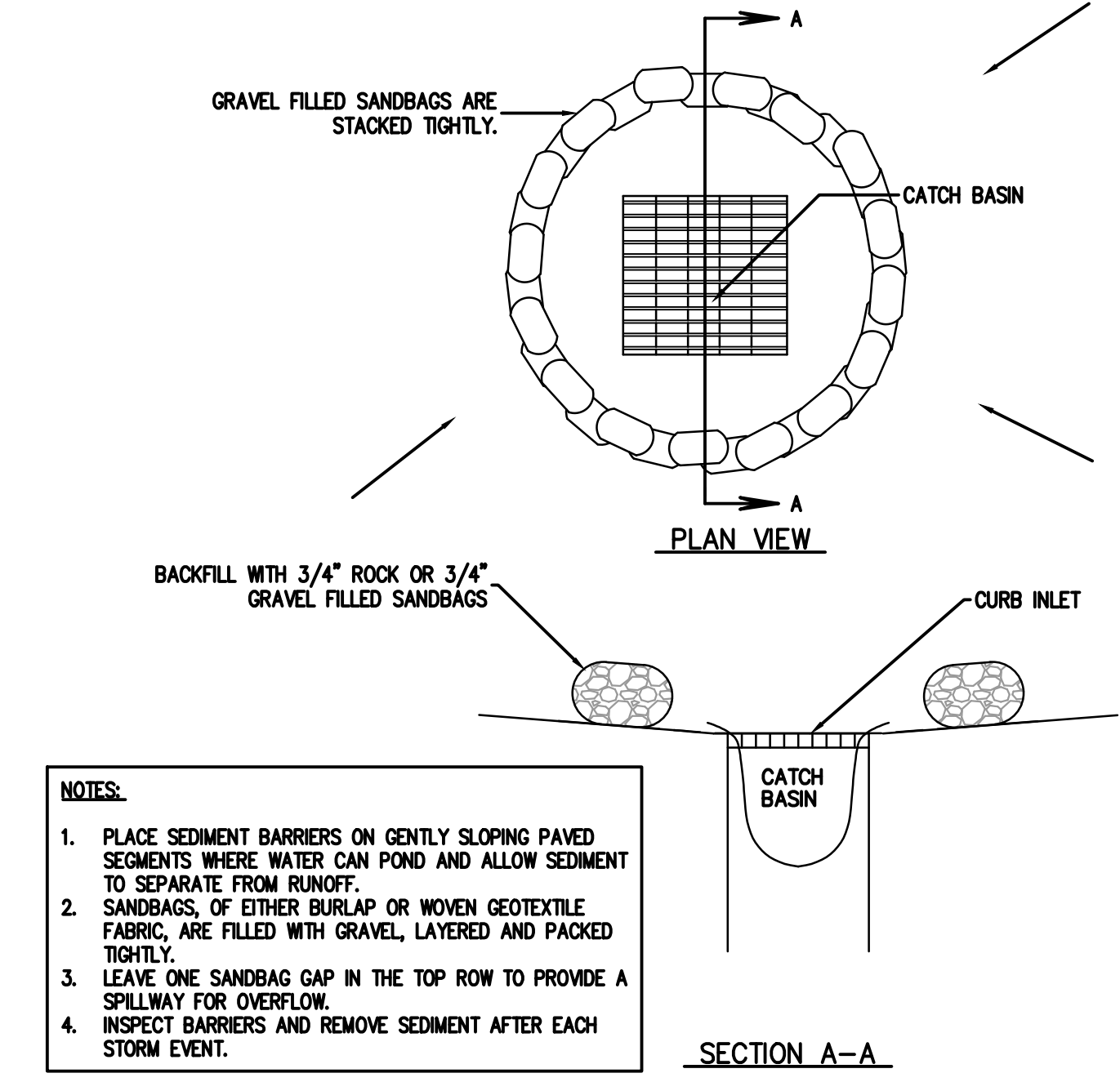
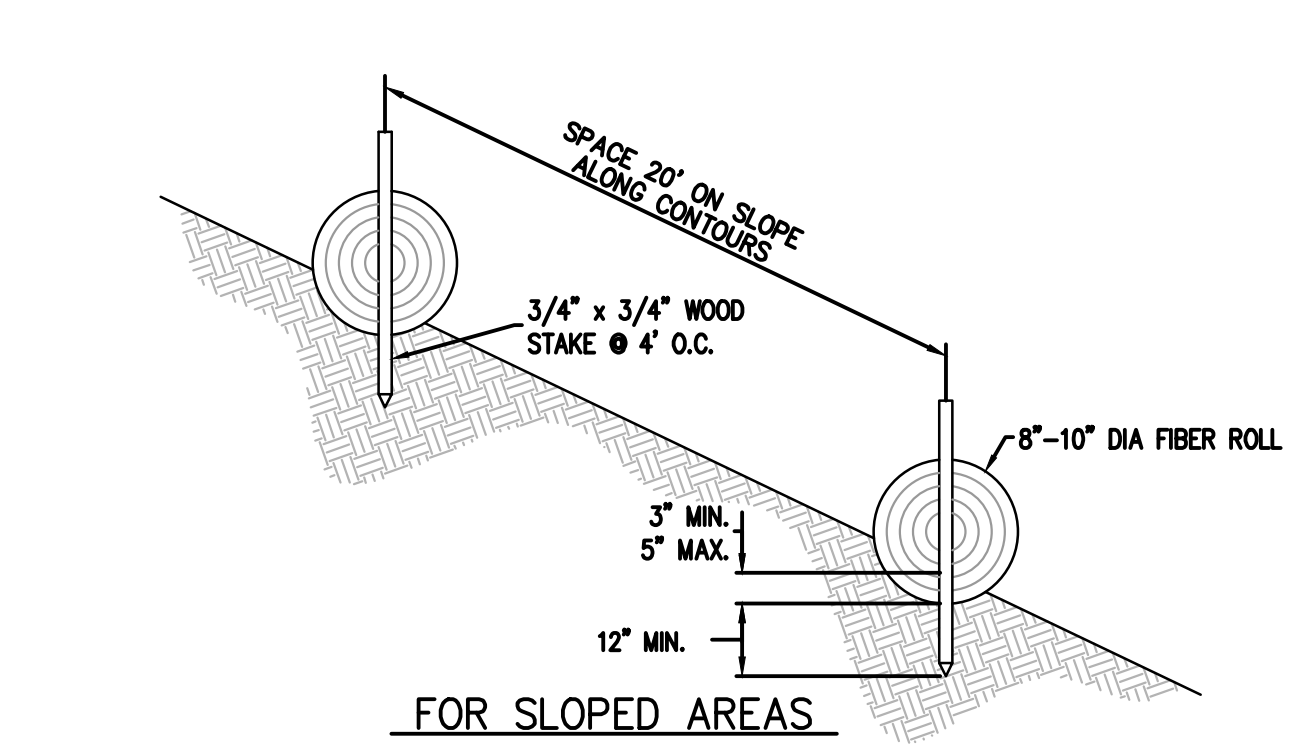
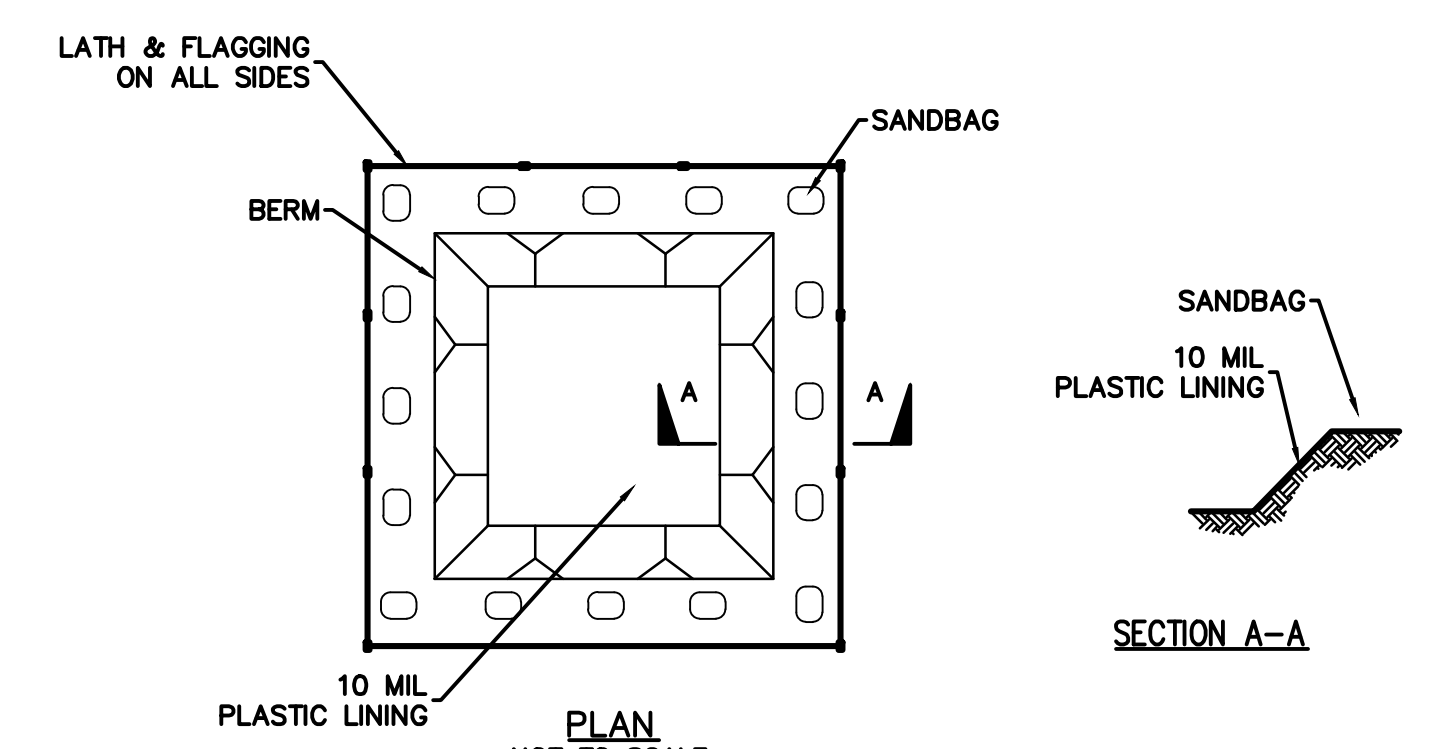
JOB NO.:	SNR25-6024
PA / PM:	MM
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DATE:	DEC. 02. 2025
PLOT DATE:	01-21-2026

SHEET
C4.0
Sheet 5 of 6



EROSION CONTROL NOTES

- GRADING PLANS SHALL BE DESIGNED WITH LONG-TERM EROSION AND SEDIMENT CONTROL AS A PRIMARY CONSIDERATION.
- NO GRADING OPERATIONS SHALL BE CONDUCTED DURING THE RAINY SEASON EXCEPT UPON A CLEAR DEMONSTRATION, TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS, THAT AT NO STAGE OF THE WORK WILL THERE BE ANY SUBSTANTIAL RISK OF INCREASED SEDIMENT DISCHARGE FROM THE SITE.
- SHOULD GRADING BE PERMITTED DURING THE RAINY SEASON, THE SMALLEST PRACTICABLE AREA OF ERODIBLE LAND SHALL BE EXPOSED AT ANY ONE TIME DURING GRADING OPERATIONS AND THE TIME OF EXPOSURE SHALL BE MINIMIZED.
- NATURAL FEATURES, INCLUDING VEGETATION, TERRAIN, WATERCOURSES AND SIMILAR RESOURCES SHALL BE PRESERVED WHEREVER POSSIBLE. LIMITS OF GRADING SHALL BE CLEARLY DEFINED AND MARKED TO PREVENT DAMAGE BY CONSTRUCTION EQUIPMENT.
- PERMANENT VEGETATION AND STRUCTURES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED AS SOON AS POSSIBLE.
- ADEQUATE PROVISION SHALL BE MADE FOR LONG-TERM MAINTENANCE OF PERMANENT EROSION AND SEDIMENT CONTROL STRUCTURES AND VEGETATION.
- NO TOPSOIL SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED OR APPROVED BY THE DIRECTOR OF PUBLIC WORKS. TOPSOIL OVERBURDEN SHALL BE STOCKPILED AND REDISTRIBUTED WITHIN THE GRADED AREA AFTER ROUGH GRADING TO PROVIDE A SUITABLE BASE FOR SEEDING AND PLANTING. RUNOFF FROM THE STOCKPILED AREA SHALL BE CONTROLLED TO PREVENT EROSION AND RESULTANT SEDIMENTATION OF RECEIVING WATER.
- RUNOFF SHALL NOT BE DISCHARGED FROM THE SITE IN QUANTITIES OR AT VELOCITIES SUBSTANTIALLY ABOVE THOSE WHICH OCCURRED BEFORE GRADING EXCEPT INTO DRAINAGE FACILITIES WHOSE DESIGN HAS BEEN SPECIFICALLY APPROVED BY THE DIRECTOR OF PUBLIC WORKS.
- PERMITTEE SHALL TAKE REASONABLE PRECAUTIONS TO ENSURE THAT VEHICLES DO NOT TRACK OR SPILL EARTH MATERIALS INTO PUBLIC STREETS AND SHALL IMMEDIATELY REMOVE SUCH MATERIALS IF THIS OCCURS.
- CONTRACTOR SHALL IMPLEMENT ALL DUST CONTROL MEASURES DURING GRADING OPERATION.



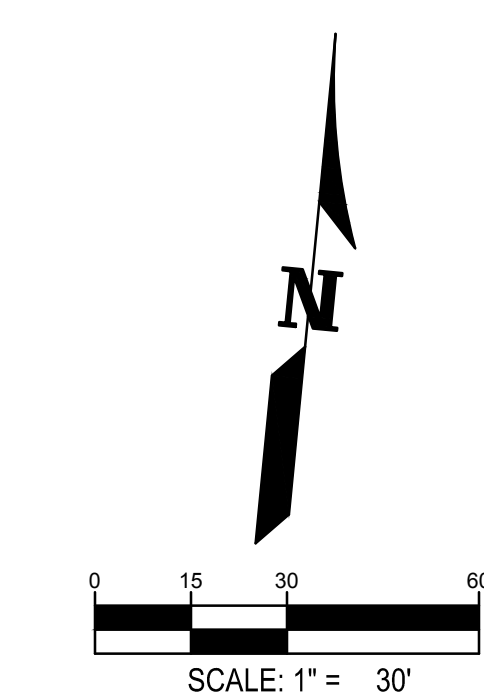
CONCRETE WASH OUT AREA
SCALE: N.T.S. E9

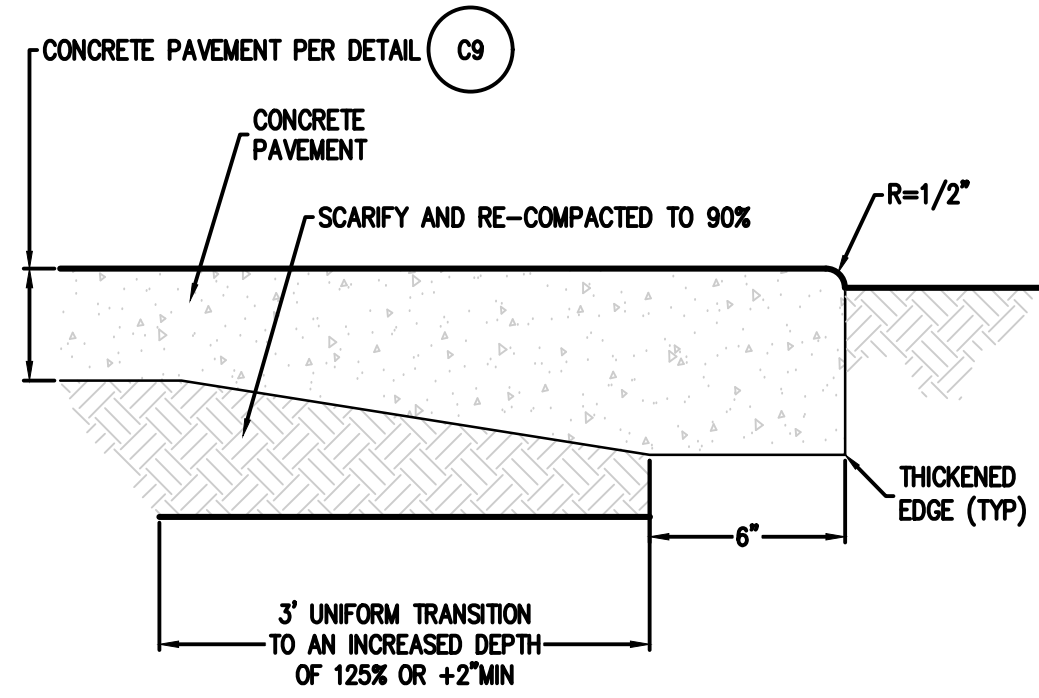
FIBER ROLL EROSION BARRIER
SCALE: N.T.S. E10

ALTERNATE DRAIN INLET PROTECTION
SCALE: N.T.S. E6

EROSION CONTROL LEGEND

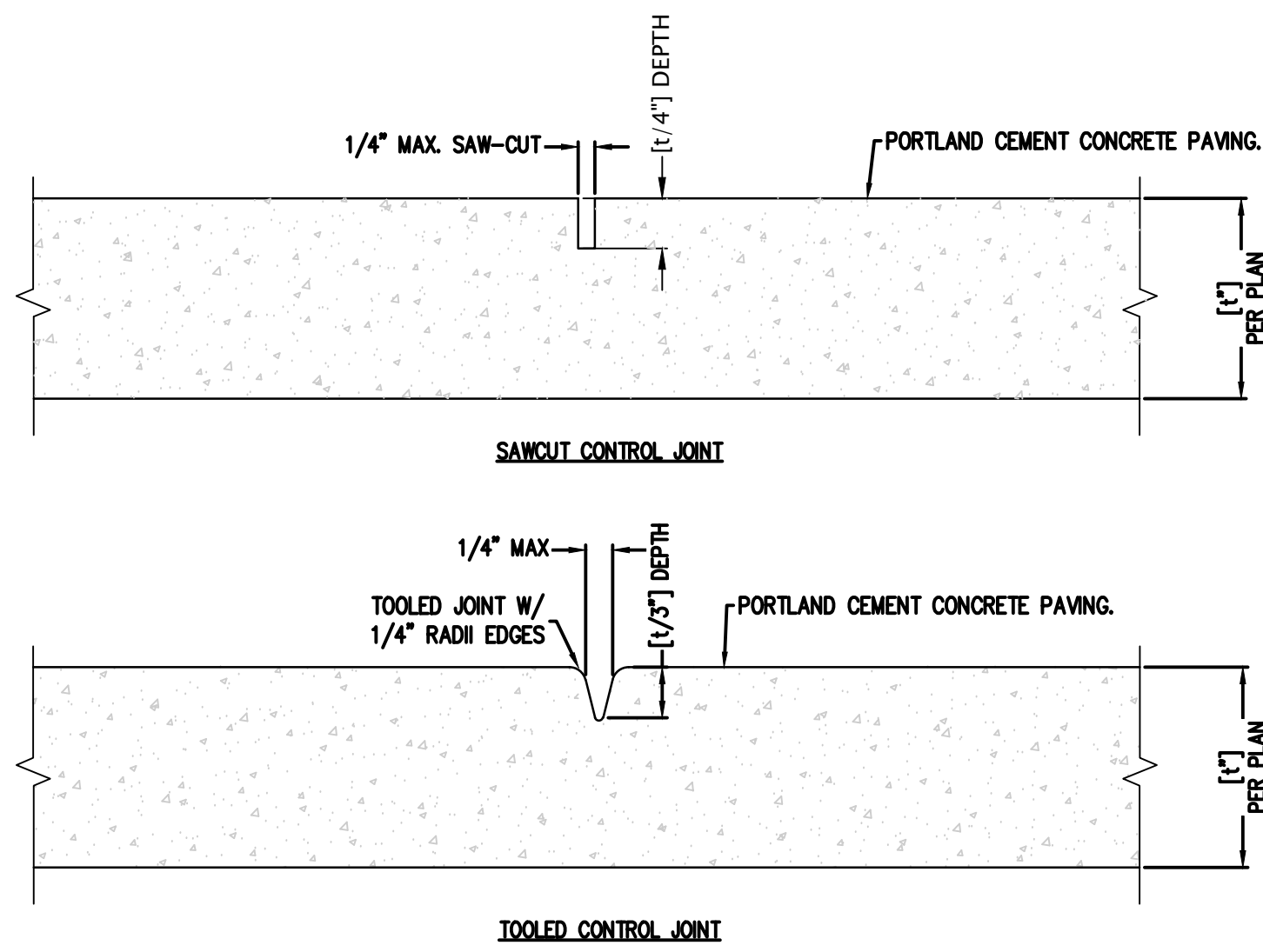
- INLET PROTECTION SEE DETAIL A FOR FIELD INLET AND DETAILS C & D ON THIS SHEET
- FIBER ROLL / SILT FENCE BARRIER SEE DETAIL B ON THIS SHEET
- CONCRETE WASH OUT AREA SEE DETAIL A ON THIS SHEET
- MATERIAL STORAGE AREA





- NOTES:
1. ALL TREAD SURFACES SHALL BE SLIP-RESISTANT.
 2. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT.

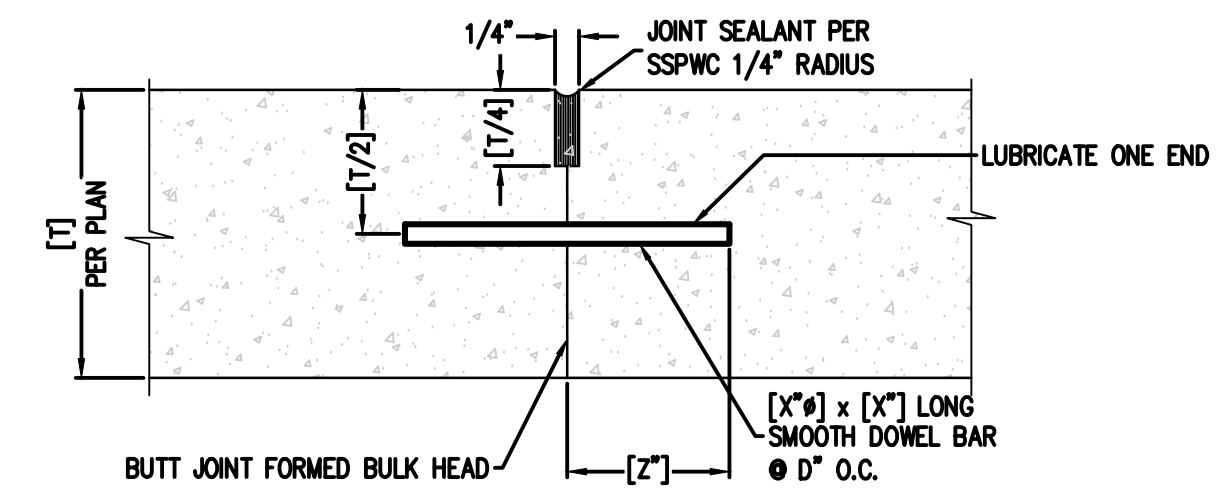
CONCRETE FLATWORK THICKENED EDGE
SCALE: N.T.S. C1 A



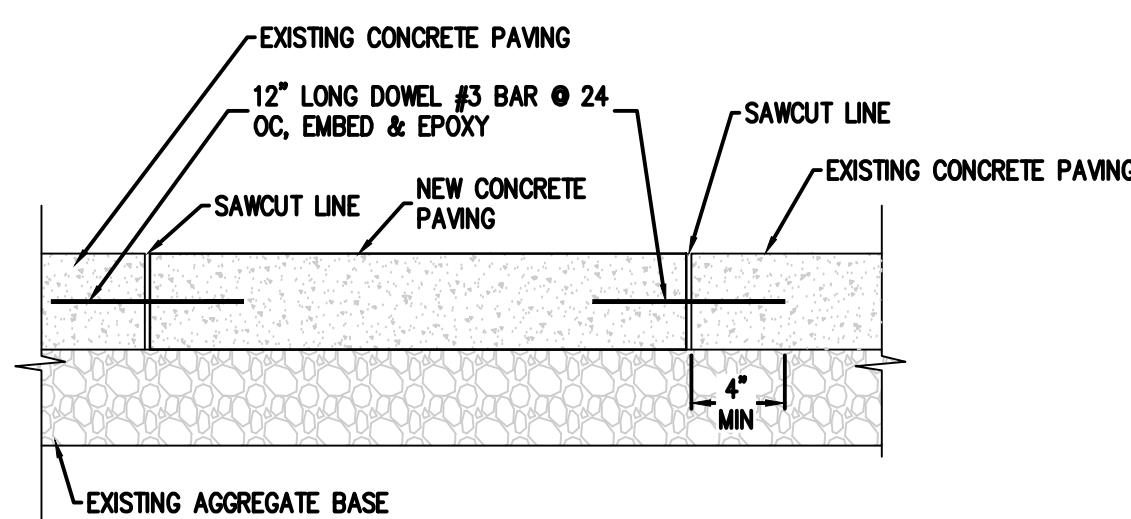
- NOTES:
1. CONSTRUCT CONTROL JOINTS WITHIN 24 HOURS OF POUR.
 2. SEE PLANS BY OTHERS FOR LOCATION OF CONTROL JOINTS.

CONTROL JOINT
SCALE: N.T.S. C4 B

T	DOWEL DIAMETER X	DOWEL EMBEDMENT Z	TOTAL DOWEL LENGTH Y
in. (mm)	in. (mm)	in. (mm)	in. (mm)
6.0 (150)	3/4 (20)	5 (125)	14 (360)
6.5 (165)	7/8 (22)	5 (125)	14 (360)
7.0 (180)	1 (25)	6 (150)	16 (400)
7.5 (190)	1-1/8 (28)	7 (180)	16 (400)
≥ 8.0 (200)	1-1/4 (32)	8 (200)	17 (430)

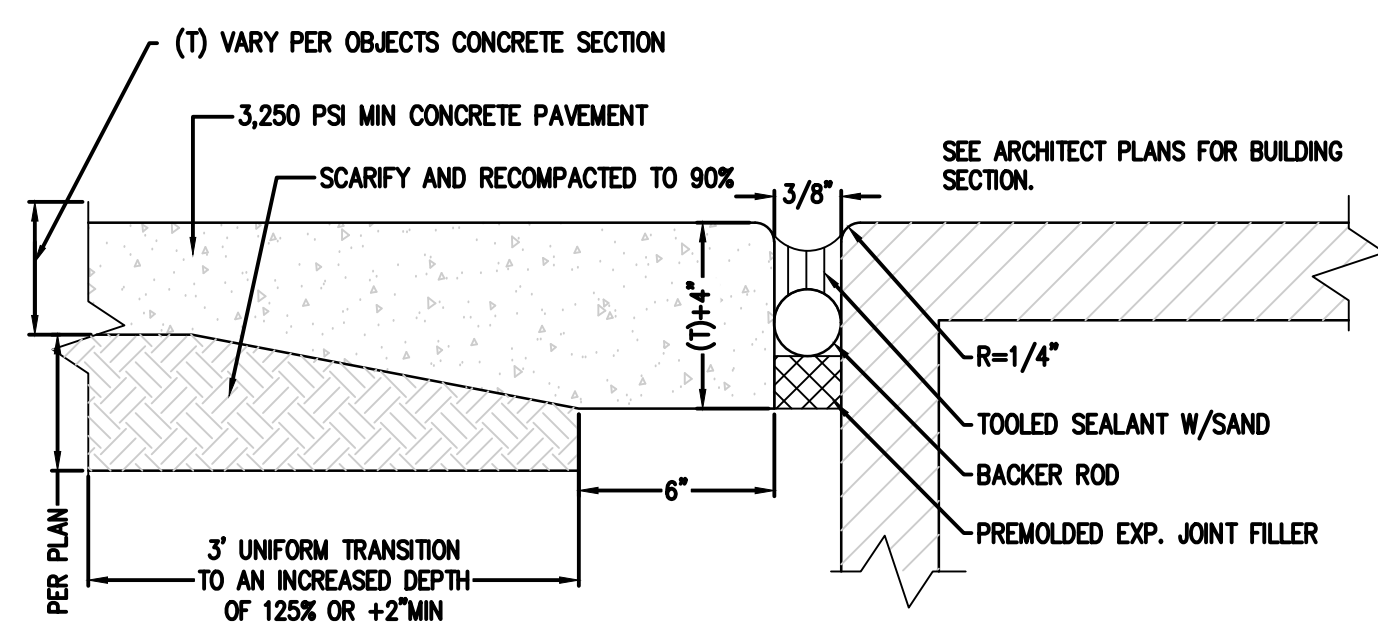


DOWELED CONSTRUCTION JOINT FOR VEHICULAR PAVING ONLY
SCALE: N.T.S. C5 C

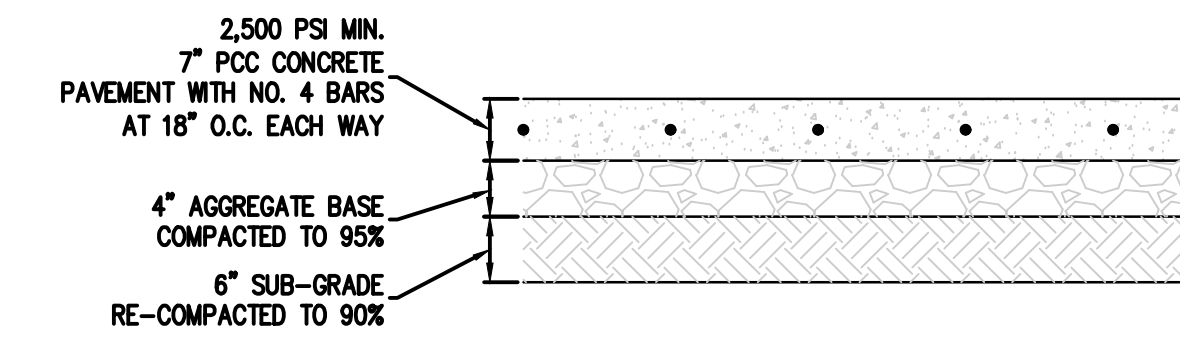


- NOTES:
1. CONTRACTOR TO MATCH EXISTING CONCRETE PAVING SECTION

CONCRETE PAVING CONNECTION DETAIL
SCALE: N.T.S. D

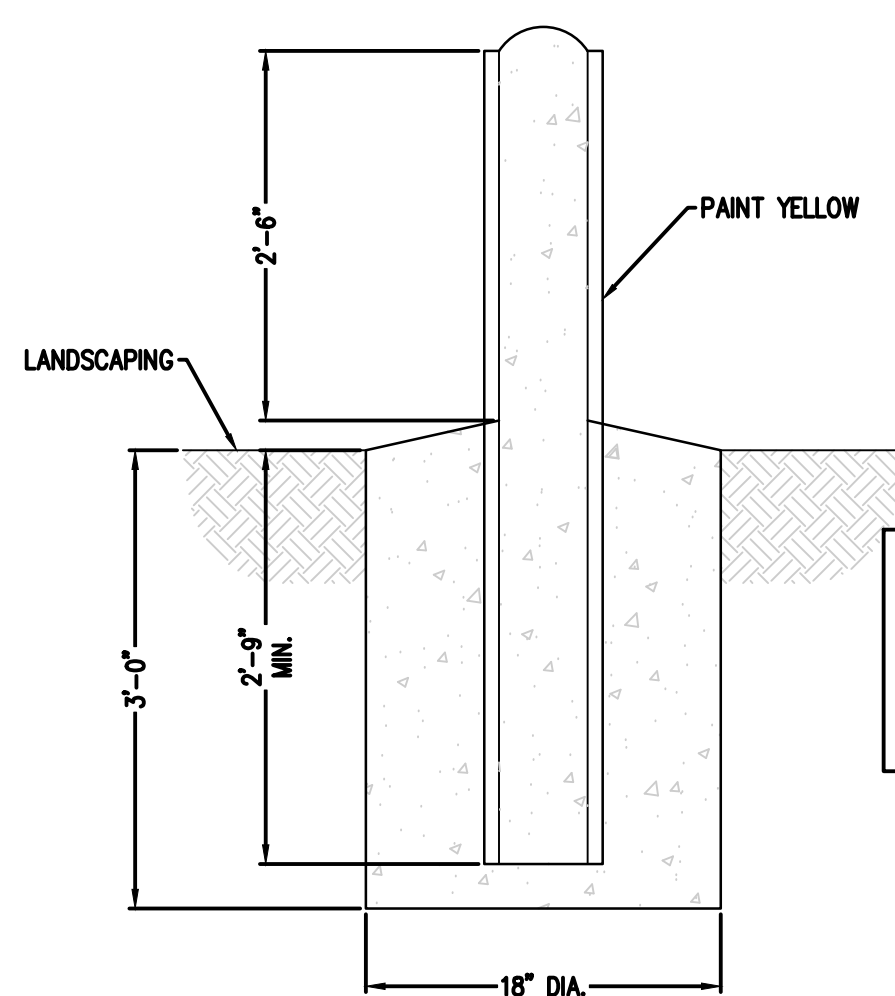


EXPANSION JOINT
SCALE: N.T.S. C8 E



- NOTES:
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS OF GEOTECHNICAL INVESTIGATION REPORT, AND ARE DESIGNED FOR TRAFFIC INDEX OF 5.0 AND CAPABLE TO SUPPORT AASHTO H20 LOADING.

CONCRETE PAVEMENT SECTION
SCALE: N.T.S. C9 F



- NOTES:
1. GUARD POST ARE SCHEDULE #40, 6" DIAMETER STEEL PIPE.
 2. CONCRETE FOOTING IS 3' DEEP WITH AN 18" DIAMETER.
 3. POST IS EXPOSED 2'-6" ABOVE PAVEMENT, WITH 2'-9" MINIMUM BURIAL.
 4. OBSERVE 3'-0" CLEARANCE FROM HYDRANT.

GUARD POST DETAIL
SCALE: N.T.S. C20 G

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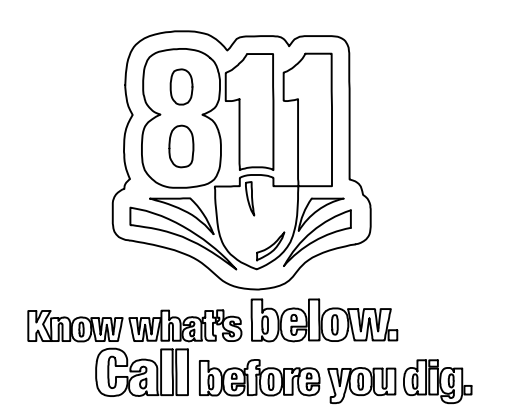


FOR AND ON BEHALF OF WARE MALCOMB

SITE IMPROVEMENTS
GOODWILL HERCULES
1551 SYCAMORE AVENUE
HERCULES, CA

DETAILS		REMARKS
NO.	DATE	DESCRIPTION
1	03/03/2026	CLIP COMMENTS

JOB NO.:	SNR25-6024
PA / PM:	MM
DESIGNED:	SY
DATE:	DEC. 02, 2025
PLOT DATE:	01-21-2026



Home Depot Consent



2455 Paces Ferry Rd, Atlanta, GA 30339
(770) 433-8211

November 14, 2025

Via Email

William B. Baron
Brandenburg Properties
1122 Willow Street, Ste. 200
San Jose, CA 95125
bill@bsm-group.com

Re: Home Depot Store 1044 – Hercules, CA – MATT 206692
Third Party Request to Approve Goodwill

Dear Bill:

HD Development of Maryland, Inc. ("Home Depot") acknowledges that certain use restrictions are set forth in Sections 2.2, 5.1(a) and 5.4 of that certain Amended and Restated Declaration of Restrictions and Grant of Easements dated April 14, 2003, recorded in the Official Records of Contra Costa County, California on April 15, 2003 as Document No. 2003-017885-00 (as amended, the "RAGE") for Creekside Shopping Center located at 1551 Sycamore Drive, Hercules, California (the "Shopping Center"). All initially capitalized terms used in this letter, but which are not defined or modified herein, shall have the meanings ascribed to them in the RAGE.

Home Depot is in receipt of your request on behalf of North First Street Properties, LP ("Owner") to lease the former Big Lots! building located on Parcel 3 of the Shopping Center for the operation by Goodwill of San Francisco Bay ("Goodwill") of a Goodwill drop off center and retail store (the "Use"). Notwithstanding the use restrictions contained in Section 5.1(a) of the RAGE, Home Depot hereby consents to this request, provided the Use is operated in the location identified in the Shopping Center on Exhibit "A" attached hereto and incorporated herein by this reference, in a first-class manner, and otherwise substantially as such Use is typically operated by Goodwill as of the date hereof. Home Depot also provides consent pursuant to Sections 2.2 and 5.4 of the RAGE to Goodwill's construction and use of its Service Facilities consisting of Goodwill's donation drive up/drive thru area, ramp, loading dock, trash compactor and dumpsters, subject however to all of these items being located either within the Albertson's Expansion area and outside of the driveway area at the rear of the building as shown on Exhibit "A" pages 1 and 2.

In addition, this approval is conditioned on Goodwill meeting the following criteria as proposed by Goodwill in their consent request letter:

- Donation Drop-Off Area: Goodwill will create a new rear door with a ramp into the building for the designated drop-off door as shown on Exhibit A Page 2 – all drop off to be

#13576610v1

located within Albertson's Expansion Area as shown on Exhibit A, without exception;

- Signage: Directional signage and striping for Goodwill customers will be provided throughout the Shopping Center, subject to review and approval in the formal signage package. Signage will clearly state that donations are accepted only during operating hours as posted at the Donation Drop-Off Area Door;
- Hours of Operation: Donations will be accepted during business hours only, Monday through Sunday, 9:00 AM – 9:00 PM. A dedicated Donation Attendant will be present at all times during these hours;
- After-Hours Deterrents: A speaker system connected to live attendants will deter after-hours drop-offs by instructing customers to return during operating hours;
- Morning Clean-Up: Employees arriving prior to daily store opening will remove items left overnight or before store hours, if any, by donors before Goodwill store operations begin;
- No Outside Storage: No donations or products will be left outside overnight; and
- On-Site Compactor: A compactor located in the truck well will handle all trash, ensuring that the area remains clean, orderly and free of debris.

Home Depot's consent to the Use is in no way a representation (or agreement) by Home Depot that the same is in compliance with any laws, rules, regulations or codes, or that the same will be permitted by any relevant governing authority. Additionally, it is the responsibility of Owner and Goodwill, if applicable, to obtain all consents, approvals, and waivers for the Use from all governing authorities and any other required consenting owners or tenants.

Please note that this consent is specifically for the Use in the location identified on **Exhibit "A"**, is subject to the conditions contained herein, and is not a waiver of any other approval rights contained in the RAGE. This consent is collectively for the benefit of Owner and Goodwill in this particular instance and shall not be construed as being for the benefit of any future tenants of the subject property or any other locations. Except as expressly waived or consented to herein, no other provisions of the RAGE shall be deemed waived, supplemented, or modified hereby, and all of the covenants, terms, obligations, and conditions of the RAGE shall remain in full force and effect.

If you have any questions regarding this letter, please contact Barry Simmons, Sr. Manager, Real Estate, at Barry.Simmons@homedepot.com.

Sincerely,



Doug Pyne
Senior Corporate Counsel
Home Depot U.S.A., Inc.

Enclosures

cc: Celeste Burr, Legal Specialist
Jeff Hardman, Director of Real Estate
Barry Simmons, Sr, Manager, Real Estate

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TENANT SPACE SIGN CRITERIA

GENERAL RULES

- 1) The purpose of these criteria is to establish the minimum sign standards necessary to ensure coordinated proportional exposure for all Lessees. Performance shall be strictly enforced and any non-conforming signs shall be removed by Lessee or his sign contractor at their expense.
- 2) Each Lessee shall submit to the Lessor, for his approval, detailed shop drawing of his proposed sign, indicating conformance with these criteria. Such submittal shall include, but not be limited to, pertinent dimensions of proposed signage and sign area, details and color call-outs.
- 3) The design and graphics for each sign should reflect the character of the shop it identifies. Design approval will be based upon compatibility with store front design, and with regard for the character intended for the overall development.
- 4) Signs shall conform to dimensions and materials as shown hereon. Signs shall be mounted as indicated on the approved drawings.
- 5) All sign designs, colors and shop drawings must be submitted to Lessor for review and approval prior to construction.
- 6) All permits for signs and their installation shall be obtained from the City of Hercules by Tenant prior to installation. All signs and their installation shall comply with all building and electrical codes of the City of Hercules.
- 7) The Lessee shall submit Lessor approved drawings to all agencies requiring approval and shall pay for required approval and permits.
- 8) Tenant shall pay all costs for its sign(s), including design, manufacture, installation, maintenance, removal and City permits.
- 9) All work must be of excellent quality and identical in workmanship, materials and colors to other signs. Lessor reserves the right to reject any work judged below standard by himself, or the architect.
- 10) Tenant shall be fully responsible for the actions of its sign contractor, and shall indemnify, defend and hold harmless the Landlord and its agents from damages or liabilities resulting from the sign contractor's work.
- 11) Tenant's sign contractor shall carry workman's compensation and public liability insurance against all damage suffered or done by any and all persons and/or property while engaged in the construction or erection of signs in the amount of \$1,000,000.00 per occurrence. Evidence of this insurance must be provided to Landlord prior to installation.
- 12) No animated, flashing, audible, off-premise, or vehicle signs, temporary signs, window signs of any type (whether illuminated or not), placards, flags, pennants, balloons, A-frame signs and banners of any type shall be permitted, except as otherwise previously approved in writing by the Landlord prior to installation. This shall include, but not be limited to, credit card and security system decals.
- 13) No exposed tubing, lamps, raceways, crossovers, conduits, conductors, transformer, etc.
- 14) All signs shall be maintained in first-class condition by Tenant at all times. The standard for maintenance and repair of signs shall be that which will assure the highest visual quality. Faded sign panels shall be replaced by Tenant.
- 15) Tenant shall remove its sign(s) and restore the surface(s) to its (their) original condition at Tenant's sole cost and expense within 15 days of expiration of the lease term or earlier termination of Tenant's lease. If the fascia sign is removed for replacement or because of termination of the Lease, Tenant shall leave the reader board or fascia in good condition. Without limitation, Tenant shall be specifically required to fill in, in a professional manner, any holes in the fascia panel by removal of the sign and conduit, and if necessary, shall pay for any painting and/or waterproofing that is necessary to repair said work and to remove sign or "shadow". Tenant shall remove all decals and replace etched glass with non-etched glass.

TENANT SPACE SIGN CRITERIA

SIGN TYPES

Sign Type "A" (Primary Signs)

Signs shall be mounted and internally illuminated individual letters. They shall have a DuPont Duranodic No. 313 Dark Bronze aluminum body 5" deep with color matching screws and trim cap at the letter's edge with flat Plexiglas faces.

Sign Type "B" (Interior Illuminated Individual Letters)

Signs shall be mounted on parapet wall only where shown on key plan. They shall have a DuPont Duranodic No. 313 Dark Bronze aluminum body 5" deep with color matching screws and trim cap at the letter's edge with flat Plexiglas faces.

Sign Type "C" (Under Canopy Signs – Optional)

Signs shall be wood carved or painted, double-faced exterior illuminated, chain mounted. They shall be carved from one or more pieces of wood using routing, sandblasting and/or other techniques, to include painting of sign surface. Graphics shall be in relief and painted with gloss enamels. A handcrafted effect is desired. All signs to be sized as shown on drawings. Total sign area not to exceed 5 sq. ft. per side.

Sign Type "D" (Graphic logos)

Graphic logos shall not exceed 10% of sign area. The maximum height of logos shall be 16 inches, 22 inches with two lines of copy. Graphic logos are included as part of the area of a wall sign. Graphic logos may be sign cabinets or neon tubing.

Sign Type "E" (Storefront Window Sign)

Signs shall be silk screened, gold leafed, painted onto the window surface. Total sign area not to exceed the lesser of 15 sq. ft. or 25% of the window area.

Sign Type "F" (Business Information)

Upper window panel to the right of each entrance. Not more than 144 square inches of Helvetica lettering by Dennison or equal, not to exceed 3" in height, indicating hours of business, telephone numbers for emergency, accepted credit cards, etc.

Sign Type "G" (Rear door markings)

Lessee **MUST** install vinyl lettering on the rear entrance door. The lettering shall not exceed 144 square inches of Helvetica lettering by Dennison or equal, not to exceed 3" in height, indicating Lessee business name and address (including suite number).

GENERAL SPECIFICATION

- 1) Building shop signs are permitted for each Lessee shop as located on the key plans and shall be internally illuminated metal letters not to exceed 16" in height, 18" in height for upper case. For two lines of copy, minimum letter height is 10" inches with overall maximum sign height of 22 inches. Letters shall have Plexiglas faces. Letter type to be Helvetica Medium.
- 2) Shops shall be allowed a maximum of 1 sq. ft. of signage per foot of frontage, with a maximum of 37 sq. ft. or 75% of tenant's linear exposure, consisting of signage in any combination of sign type: A, B and E.
- 3) Notwithstanding any of the above, signs may not exceed the available sign band, regardless of tenant's linear exposure.